

10-14 MUNMURRA ROAD & 5 BERNADOTTE ST, RIVERWOOD, NSW. NSW SENIOR'S HOUSING DEVELOPMENT



PROPOSED DEVELOPMENT SITE OWNED BY
THE LAND AND HOUSING CORPORATION



BERNADOTTE STREET



CORNER OF MUNMURRA & BERNADOTTE STREET

DEVELOPMENT DATA TABLE

PROPOSED DEVELOPMENT DATA - SEPP HOUSING 2021				
Site Area		2493 m ²		
Number of dwellings		16 (8 x 1 Bed 8 x 2 Bed)		
	Control	Requirement	Proposed	
Front Setback	Georges River DCP	4.5m	6.3m / 8.4m	
Side Setback	Georges River DCP	4m	3.4m / 3m	
Rear Setback	Georges River DCP	6m	16.4m / 8.4m	
Height	SEPP Housing 2021	9.5m building height (top of ridge)	8.7m maximum	
Floor Space Ratio	SEPP Housing 2021	0.5 : 1	0.51 : 1	
	Georges River LEP	0.5 : 1	0.51 : 1	
Landscape	SEPP Housing 2021	35m ² per unit = 560m ²	971m ²	
Deep Soil Zone 15% of site with minimum dimensions of 3m	SEPP Housing 2021	15/100 x 2493 = 374m ²	712m ²	
65% of this at rear	SEPP Housing 2021	65/100 x 712 = 462m ²	363m ²	
70% of dwellings to have two hours sunlight to living areas and to associated private open space	SEPP Housing 2021	70/100 x 16 = 11.2 (12)	13/16 units - 81.2%	
Parking	SEPP Housing 2021	1 bed = 0.5 2 bed = 1	= 12	
			12	

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 5010/24	18/01/2024
6	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/05/24	17/05/2024

Part 5 Submission

NOTES : DEVELOPMENT APPLICATION

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**THIS DRAWING IS TO BE
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Consultants

Arboret: Arterra
Landscape Architect: Site Image
Access Consultant: Ai Access
Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
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SYDNEY
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Surry Hills NSW 2010
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DP 35818
LOTS 57,58,59 & 60 in
SENIOR HOUSING DEVELOPMENT

Sheet Title

COVER SHEET

Drawn
JP
Checked
RW
Scale
As indicated @ A1

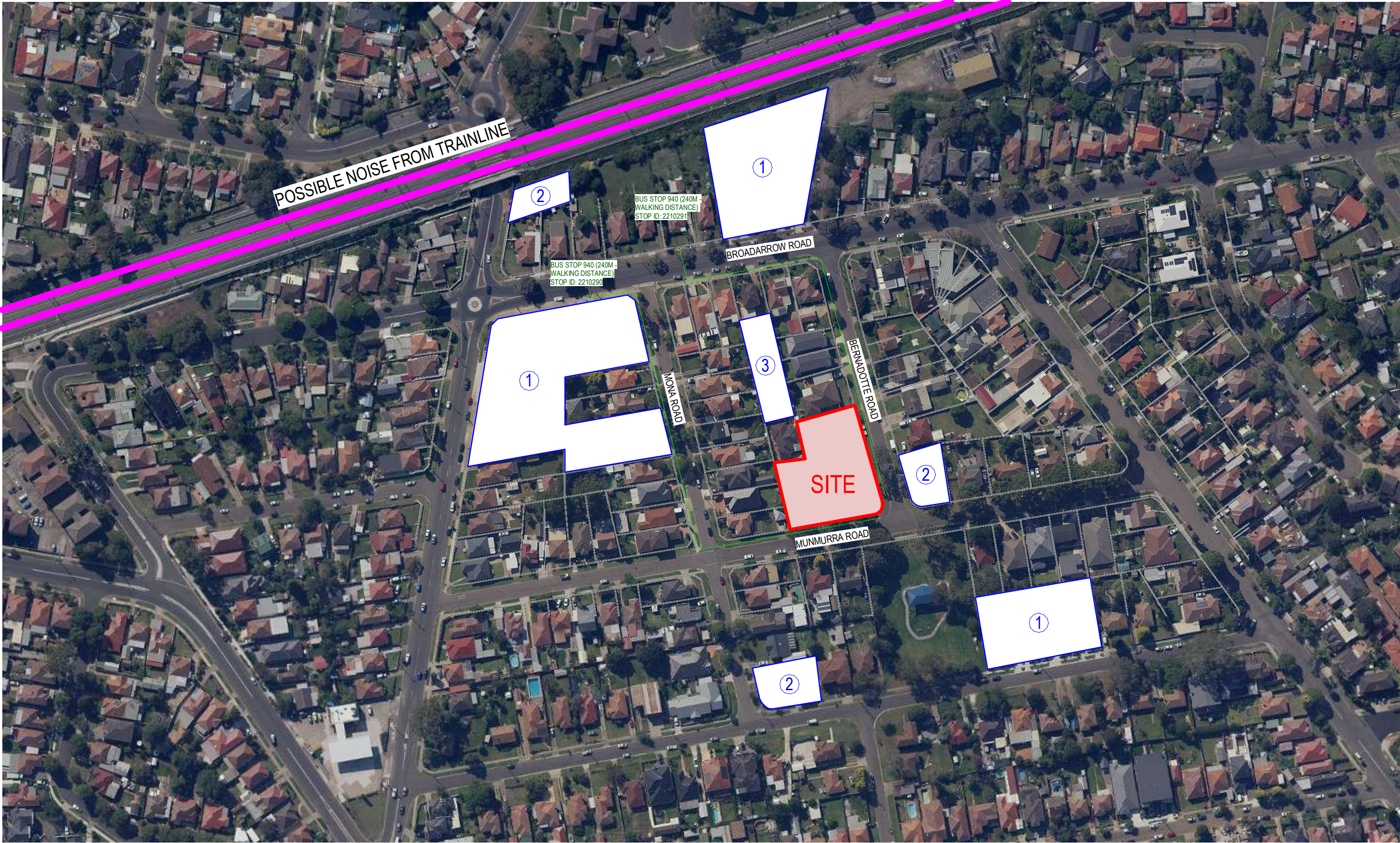
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Project No.
3418
Sheet No.
DA-001
Revision
6

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DA-008	ROOF PLAN	5
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DA-020	VIEWS FROM THE SUN - SHEET 3	4
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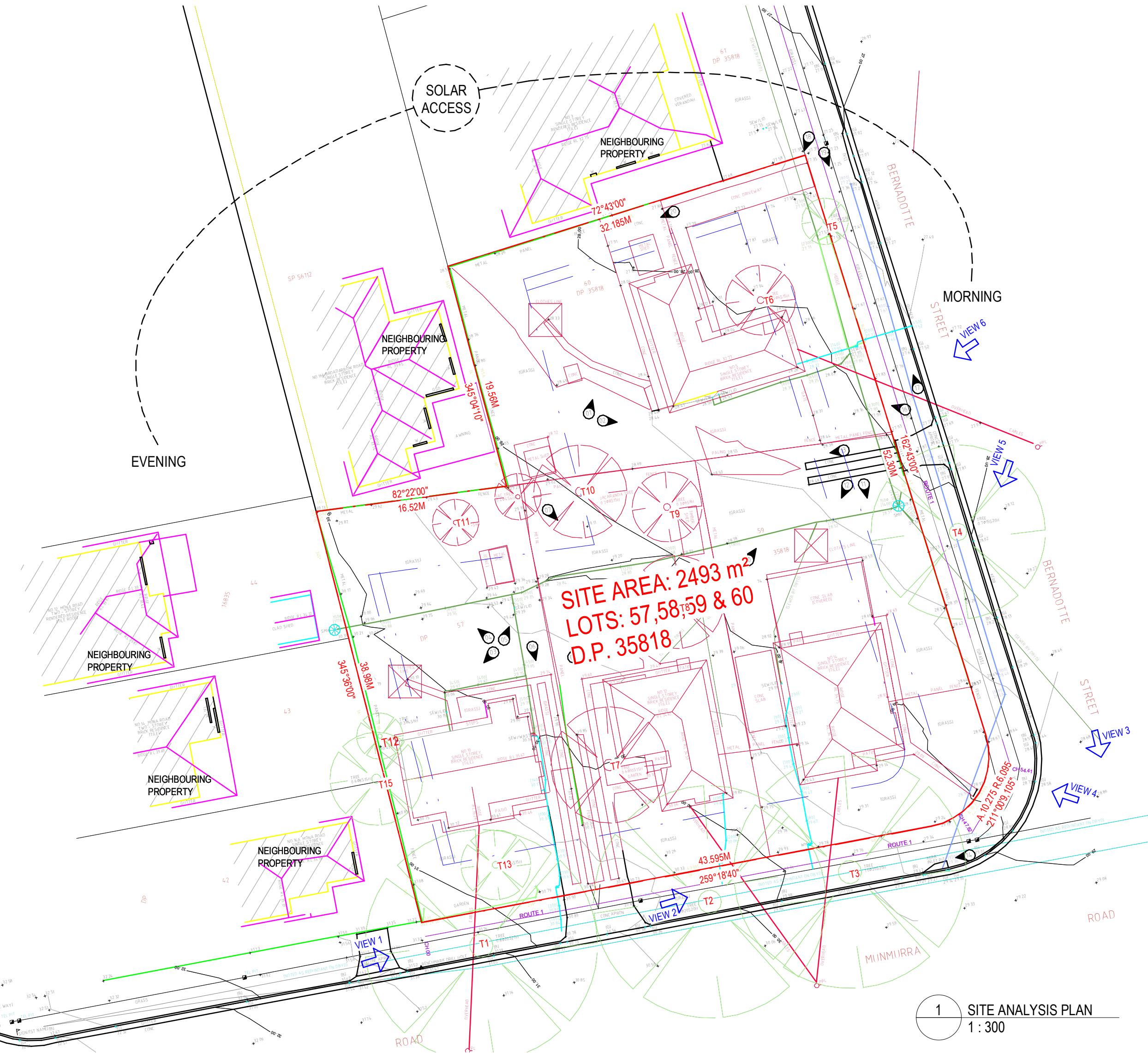


NEIGHBOURING PRIVATE OPEN SPACE (P.O.S)



BLOCK PLAN - NEIGHBOURHOOD & SURROUNDING AREAS

- LEGEND
- ① EXISTING MULTI-UNIT DEVELOPMENT
 - ② EXISTING DUPLEX DEVELOPMENT
 - ③ EXISTING MULTIPLEX DEVELOPMENT



NEIGHBOURHOOD PHOTOS



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6

WIND ROSE ANALYSIS



AUTUMN

SPRING

SUMMER

WINTER

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1	DRAFT PART 5 SUBMISSION	16/09/2023
2	PART 5 SUBMISSION	04/10/2023
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Part 5 Submission

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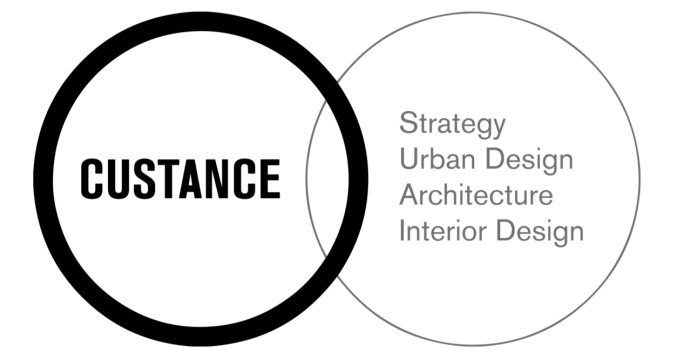
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SITE ANALYSIS

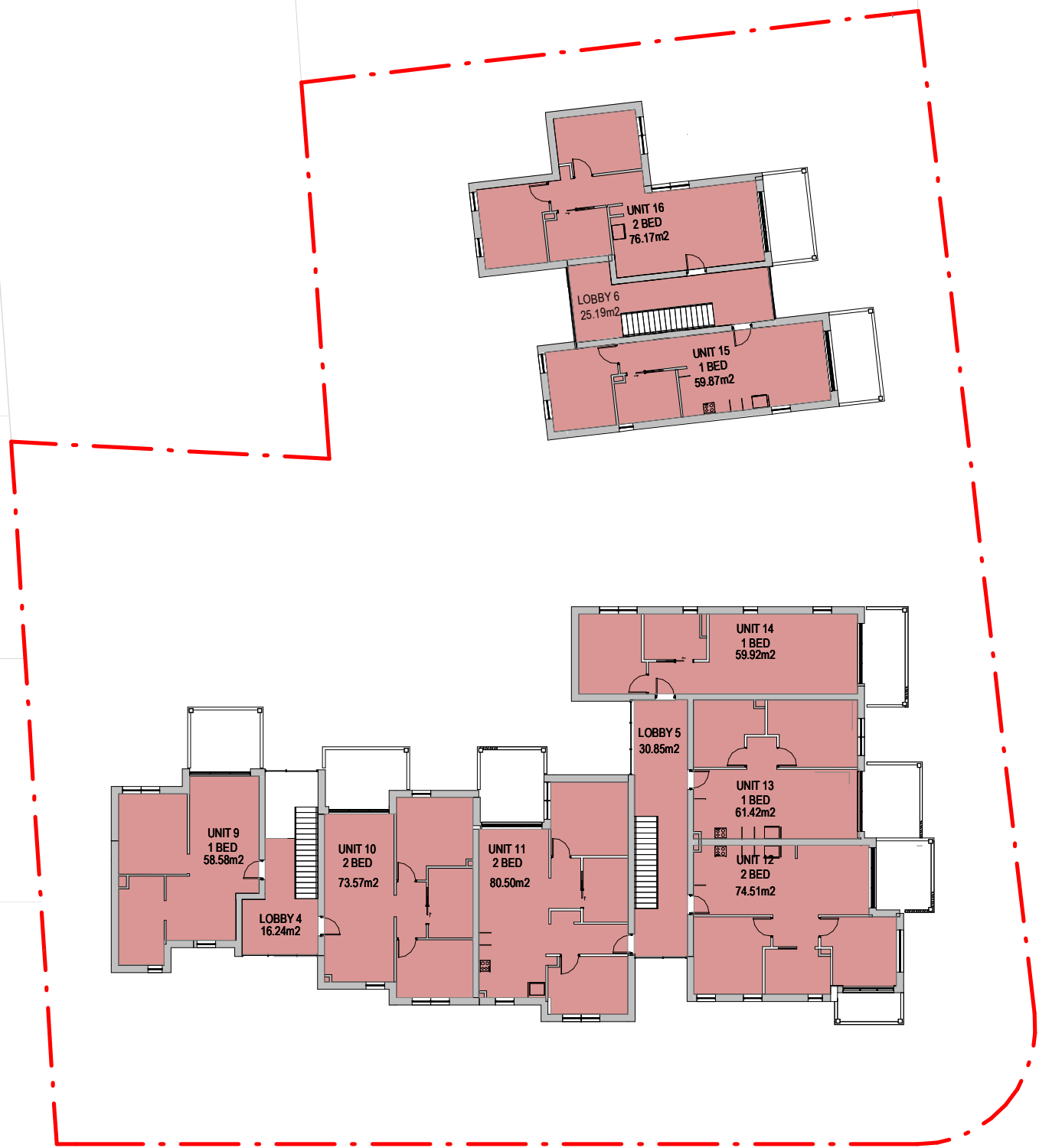
NORTH



Drawn
JP
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Scale
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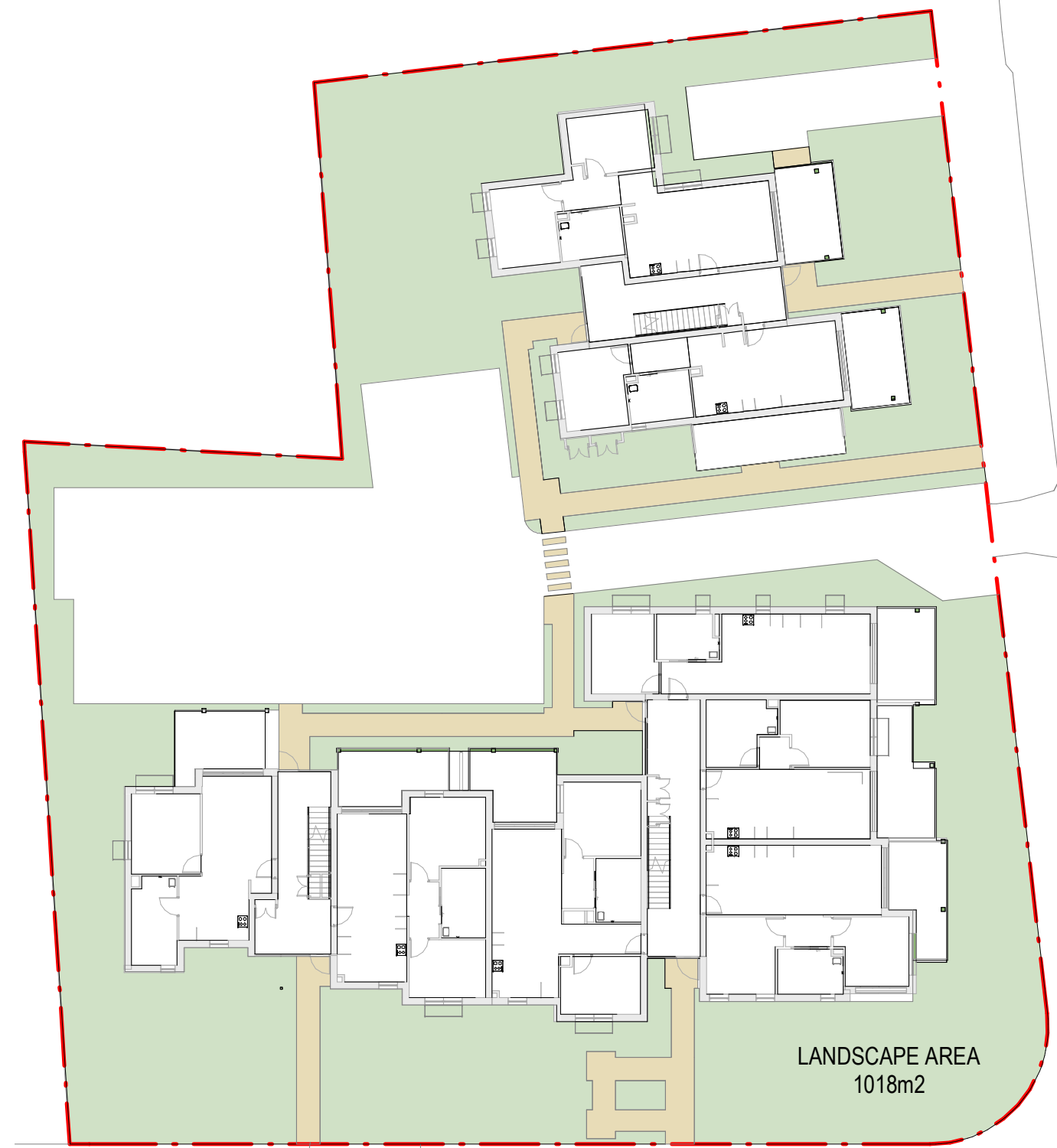
Project No.
3418
Sheet No.
DA-002
Revision
5



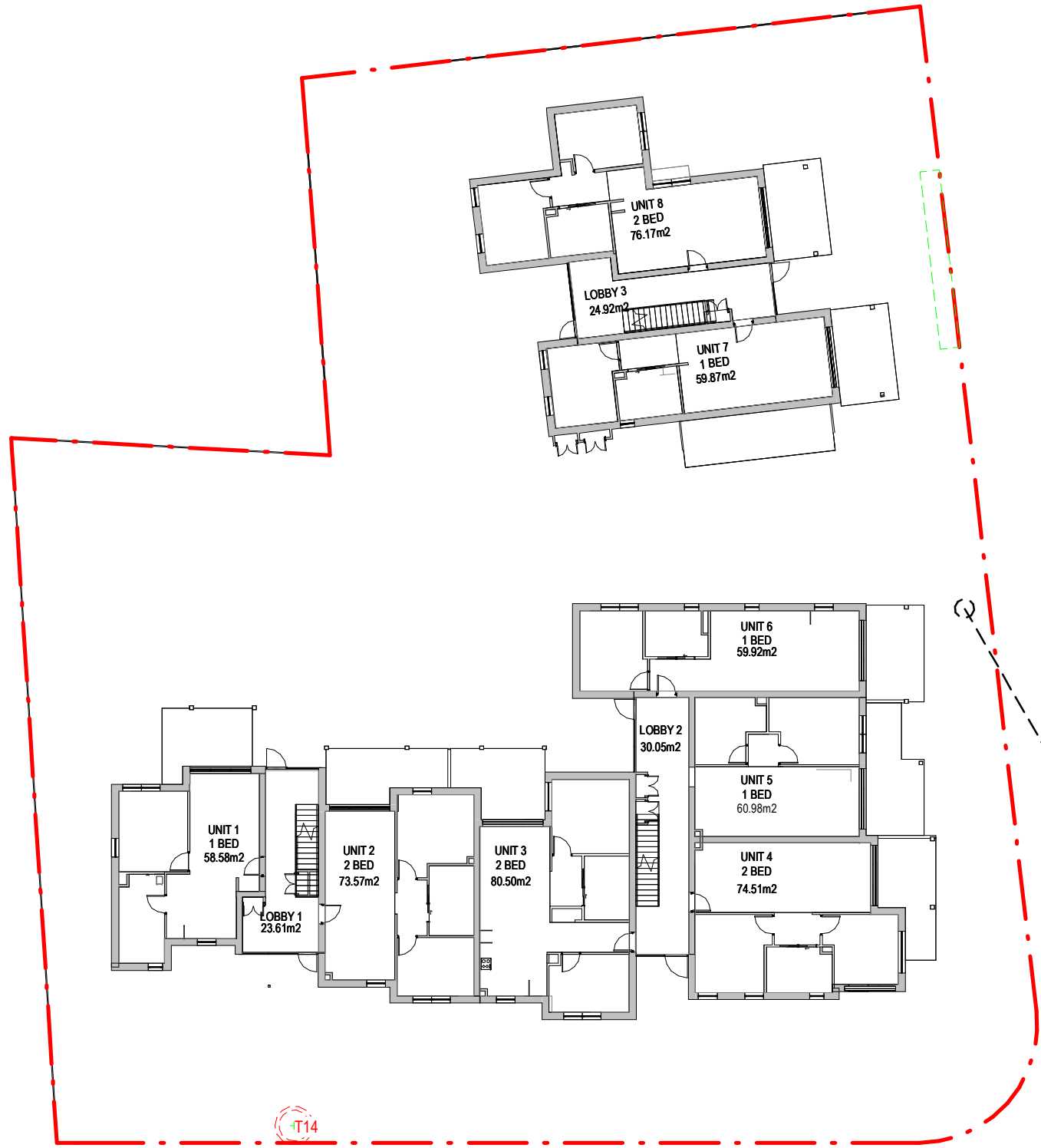
2 FSR - LEVEL 1
DA-017 1 : 300



4 PRIVATE OPEN SPACE - LEVEL 1
DA-017 1 : 300



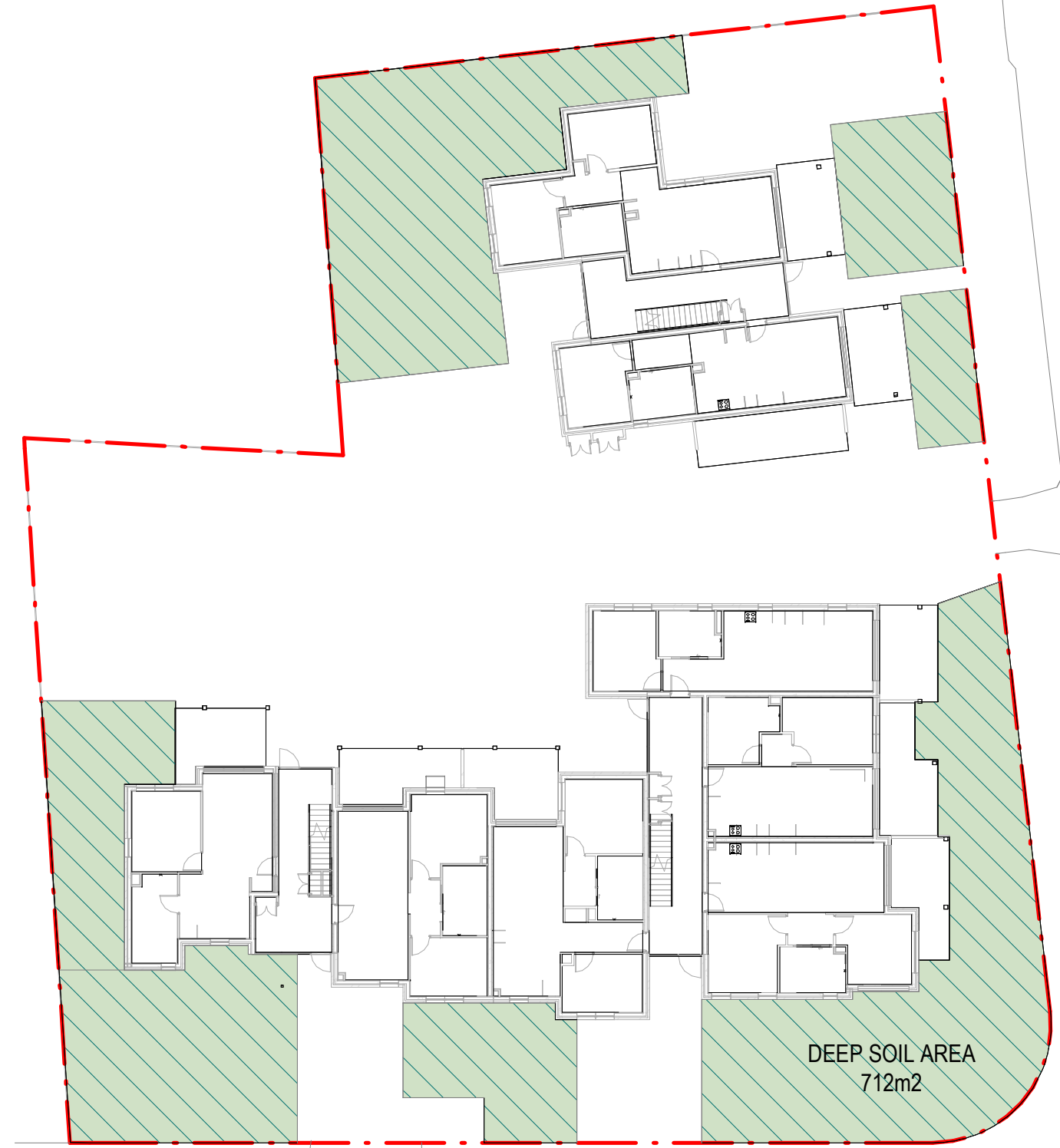
5 LANDSCAPE AREA
DA-017 1 : 300



1 FSR - GROUND LEVEL
DA-017 1 : 300



3 PRIVATE OPEN SPACE - GROUND LEVEL
DA-017 1 : 300



6 DEEP SOIL
DA-017 1 : 300

DEVELOPMENT DATA

	FSR	PrivateOpen Space	Total
UNIT 1 - 1 BED	58.58m2	15.04m2	73.62m2
UNIT 2 - 2 BED	73.57m2	15.62m2	89.19m2
UNIT 3 - 2 BED	80.50m2	15.36m2	95.86m2
UNIT 4 - 2 BED	74.51m2	15.26m2	89.77m2
UNIT 5 - 1 BED	60.98m2	17.07m2	78.05m2
UNIT 6 - 1 BED	59.92m2	15.00m2	74.92m2
UNIT 7 - 1 BED	59.87m2	15.00m2	74.87m2
UNIT 8 - 2 BED	76.17m2	15.00m2	91.17m2
UNIT 9 - 1 BED	58.58m2	11.08m2	69.66m2
UNIT 10 - 2 BED	73.57m2	11.63m2	85.20m2
UNIT 11 - 2 BED	80.50m2	12.32m2	92.82m2
UNIT 12 - 2 BED	74.51m2	15.38m2	89.89m2
UNIT 13 - 1 BED	61.42m2	10.76m2	72.18m2
UNIT 14 - 1 BED	59.92m2	10.34m2	70.26m2
UNIT 15 - 1 BED	59.87m2	10.12m2	69.99m2
UNIT 16 - 2 BED	76.17m2	10.02m2	86.19m2
LOBBY 1.	23.61m2		
LOBBY 2.	30.05m2		
LOBBY 3.	24.92m2		
LOBBY 4.	16.24m2		
LOBBY 5.	30.85m2		
LOBBY 6.	25.19m2		
Totals	1239.50m2	215.00m2	1454.5m2

LEGEND

- P.O.S (Min 3x3)
Landscaping
Road / Parking

- T4 Tree Number
Trees to be retained
Existing trees to be removed
Existing Buildings to be removed
SRZ
Proposed
Existing
Indicative Deep soil zone
RW = Proposed retaining wall / downturn
Footpath / Ramps

FLOOR FINISHES

- NS-CT Non Slip Ceramic Tile
C Carpet
KEY:
ROOM NAME. eg. BEDROOM 2.
LxW 3600x3300
FLOOR FINISH C

- TS vertical timber battren screen around clothes lines

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1	DRAFT PART 5 SUBMISSION	18/09/2023
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Part 5 Submission

NOTES : DEVELOPMENT APPLICATION

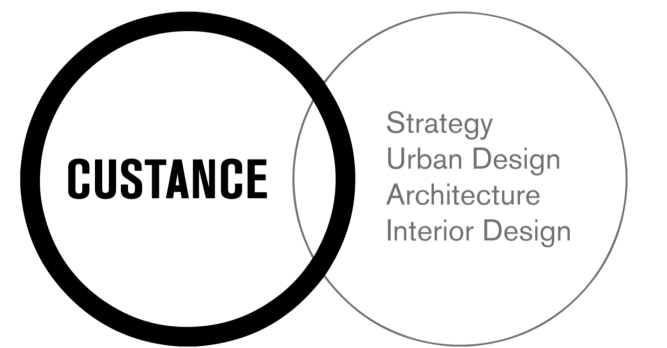
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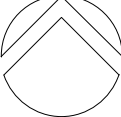
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SENIOR HOUSING DEVELOPMENT

Sheet Title

DEVELOPMENT DATA

NORTH



Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.	Sheet No.	Revision
3418	DA-004	5



With the sewer running adjacent to the booster may need to be concrete encased also due to the need for a protection wall being installed. The pipe is noted to be 2.5mtrs deep so may not need to be encased. A WSC will need to confirm this. The protection wall will fall in the 900mm zone of the pipe and will need to be designed to not pose any vertical load on the sewer asset. Documentation will need to be issued as part of the submission to Sydney Water for their approval by a WSC.

The sewer running below the buildings will need to be concrete encased with structural engineer's drawings to show no vertical load is being imposed on the sewer asset. Documentation will need to be issued as part of the submission to Sydney Water for their approval by a WSC.

APPROX BUILDING POSITION NOT INCLUDED IN SURVEY

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- P.O.S (Min 3x3)
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- Road / Parking
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- SRZ
- Proposed
- Existing
- Indicative Deep soil zone
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- Footpath / Ramps

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C Carpet

KEY:

ROOM NAME. eg. BEDROOM 2.
LxW 3600x3300
FLOOR FINISH C

TS vertical timber battens
screen around clothes
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Part 5 Submission

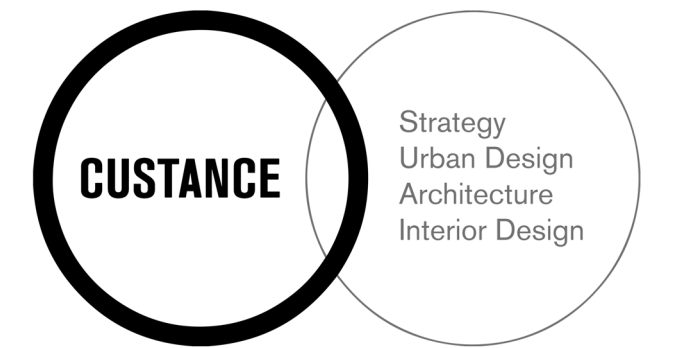
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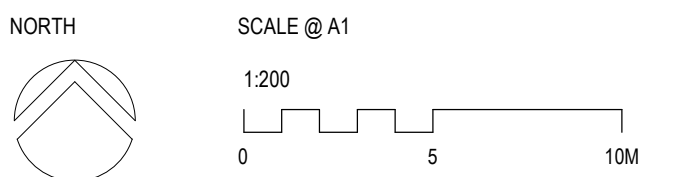


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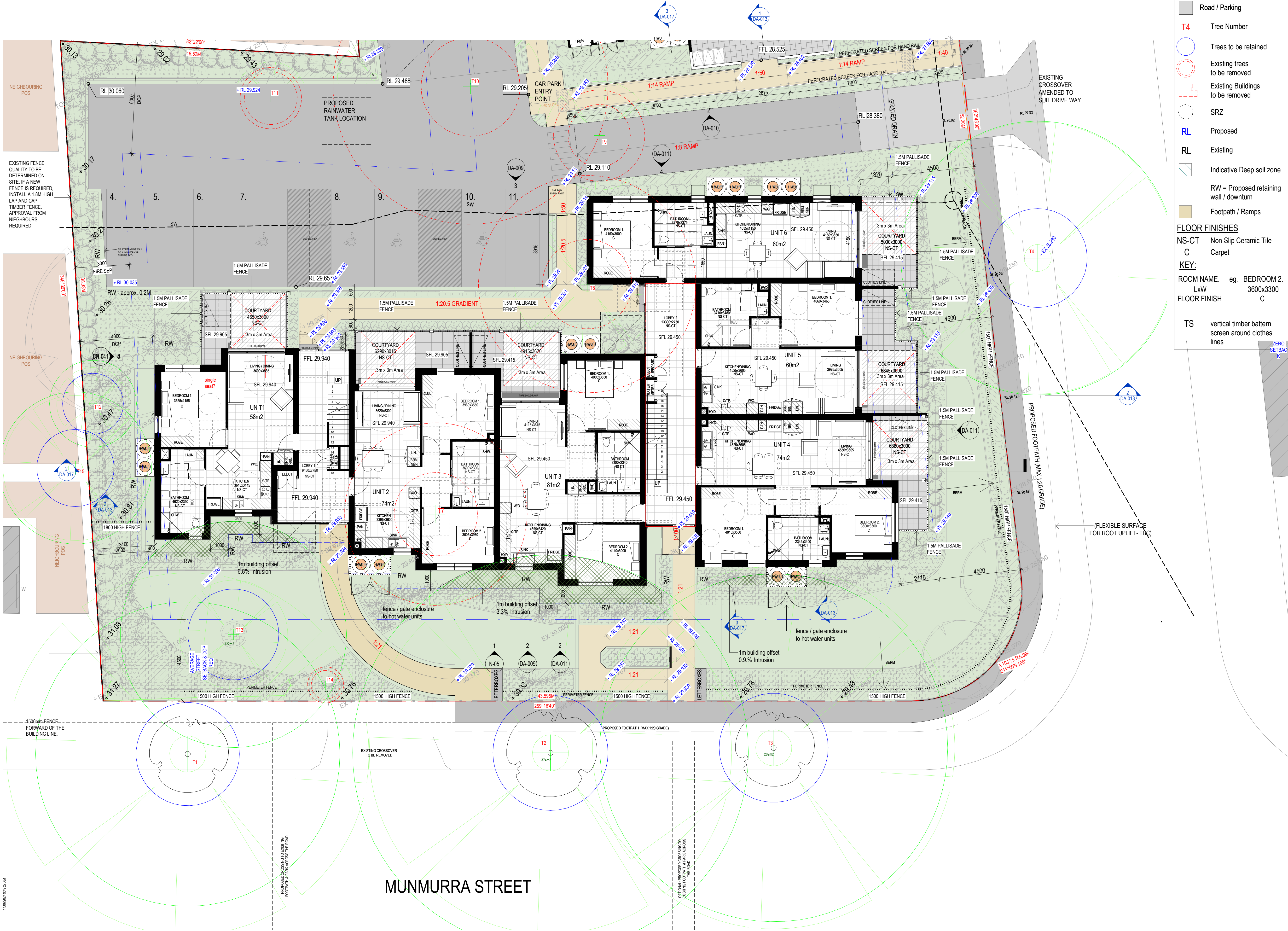
SITE PLAN



Drawn	Checked	Scale
JP	RW	1 : 200 @ A1

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REFER TO DRAWING DA-006 FOR ADJOINING INFORMATION



LEGEND

- P.O.S (Min 3x3)
- Landscaping
- Road / Parking
- T4 Tree Number
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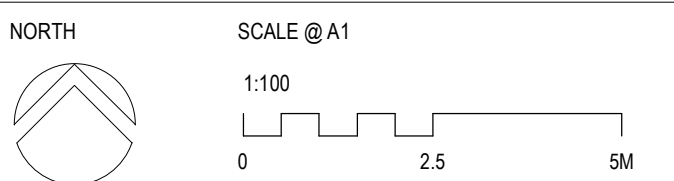


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GENERAL ARRANGEMENT PLAN -
GROUND LEVEL - PART 2



Drawn Author
Checked Checker
Scale As indicated @ A1

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- Existing
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- Footpath / Ramps
- FLOOR FINISHES
- NS-CT Non Slip Ceramic Tile
- C Carpet
- KEY:
- ROOM NAME eg. BEDROOM 2
- LxW 3600x3300
- FLOOR FINISH C
- TS vertical timber battens screen around clothes lines

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1	ISSUE FOR REVIEW	10/05/23
2	ISSUE TO LANDSCAPE ARCHITECT	02/08/2023
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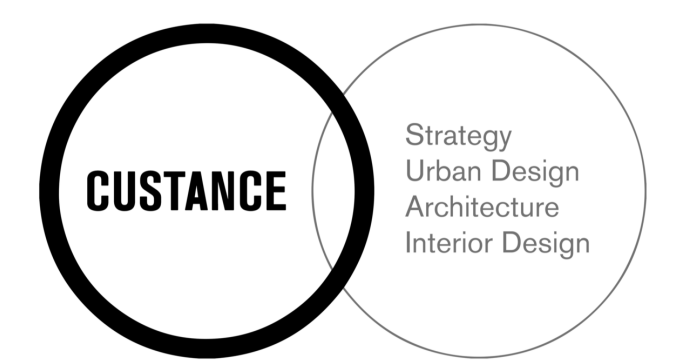
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Consultants

Arboret: Arterra
Landscape Architect: Site Image
Access Consultant: Ai Access
Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:



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Project
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in
DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title
**GENERAL ARRANGEMENT PLAN -
GROUND LEVEL - PART 1**

NORTH

SCALE @ A1
1:100
0 2.5 5M

Drawn
JP

Checked
RW

Scale
As indicated @ A1

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REFER TO DRAWING DA-006.A FOR ADJOINING INFORMATION



Revision	Description	Date
1	ISSUE FOR REVIEW	10/05/23
2	DRAFT PART 5 SUBMISSION	18/09/2023
3	PART 5 SUBMISSION	04/10/2023
4	PART 5 SUBMISSION	06/10/2023
5	PART 5 ISSUE	17/11/2023
6	DA PART 5 ISSUE	21/12/2023
7	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24	18/01/2024
8	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 19/05/24	17/05/2024

Part 5 Submission

NOTES : DEVELOPMENT APPLICATION

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Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:

Client

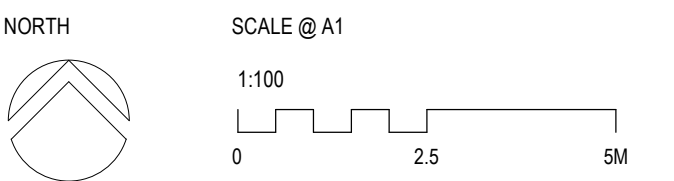


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DP 35818
LOTS 57,58,59 & 60 in
SENIOR HOUSING DEVELOPMENT

Sheet Title

GENERAL ARRANGEMENT PLAN - LEVEL 1



Drawn	Checked	Scale
JP	RW	As indicated @ A1

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KEY
GU = GUTTER
MC = METAL CLADDING (ROOF)
REFER ALSO TO THE EXTERNAL
FINISHES SCHEDULE

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 03/01/24	18/01/2024

Part 5 Submission

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Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:

Client

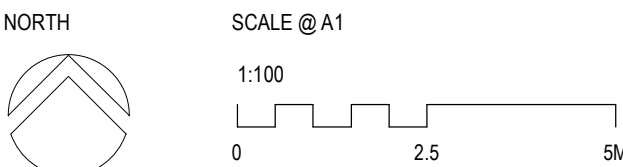


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DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

ROOF PLAN



Drawn	Checked	Scale
JP	RW	As indicated @ A1

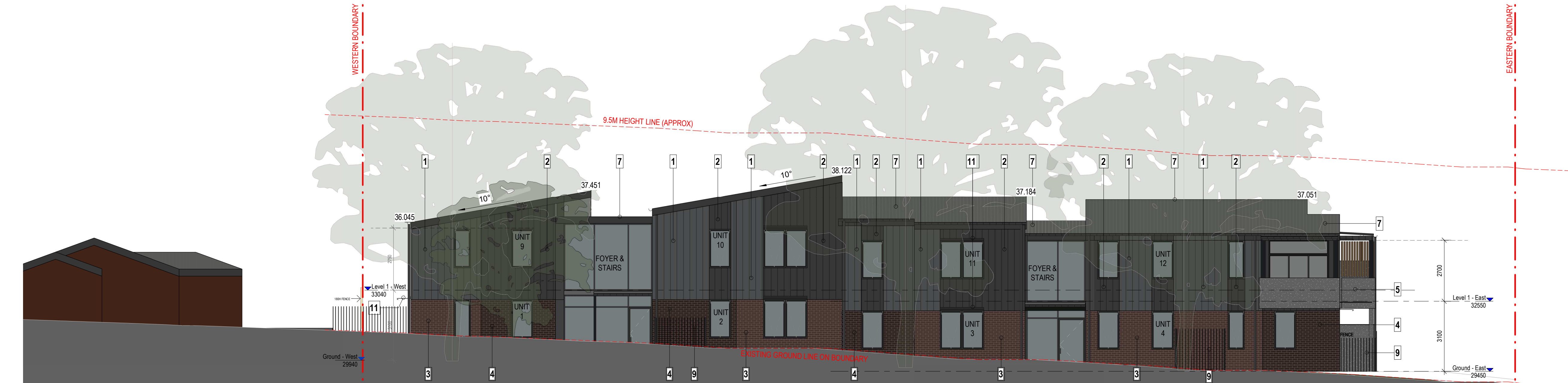
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Project No.	Sheet No.	Revision
3418	DA-008	5





1 BERNADOTTE STREET - EAST ELEVATION
DA-006 1 : 100



2 MUNMURRA STREET - SOUTH ELEVATION
DA-006.A 1 : 100



3 INTERNAL - NORTH ELEVATION
DA-006 1 : 100

FINISHES LEGEND

1. "Bluegum" Wall Cladding
2. "Basalt" Wall Cladding
3. Medium Face brick
4. Dark Face brick
5. Concrete Balcony wall
6. "Monument" downpipes
7. "Southerly" roofing
8. Breeze block wall
9. Pallisade fencing
10. "Monument" guttering
11. Balustrade screen to ramped path.
12. Balcony screening (Timber)

Part 5 Submission

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Consultants

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Landscape Architect: Site Image
Access Consultant: Ai Access
Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:

Client



BERNADOTTE STREET



SYDNEY

Suite 604 Level 6, 46 Kippax St
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Project
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DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

EXTERNAL ELEVATIONS

SCALE @ A1



Drawn: JP
Checked: RW
Scale: As indicated @ A1

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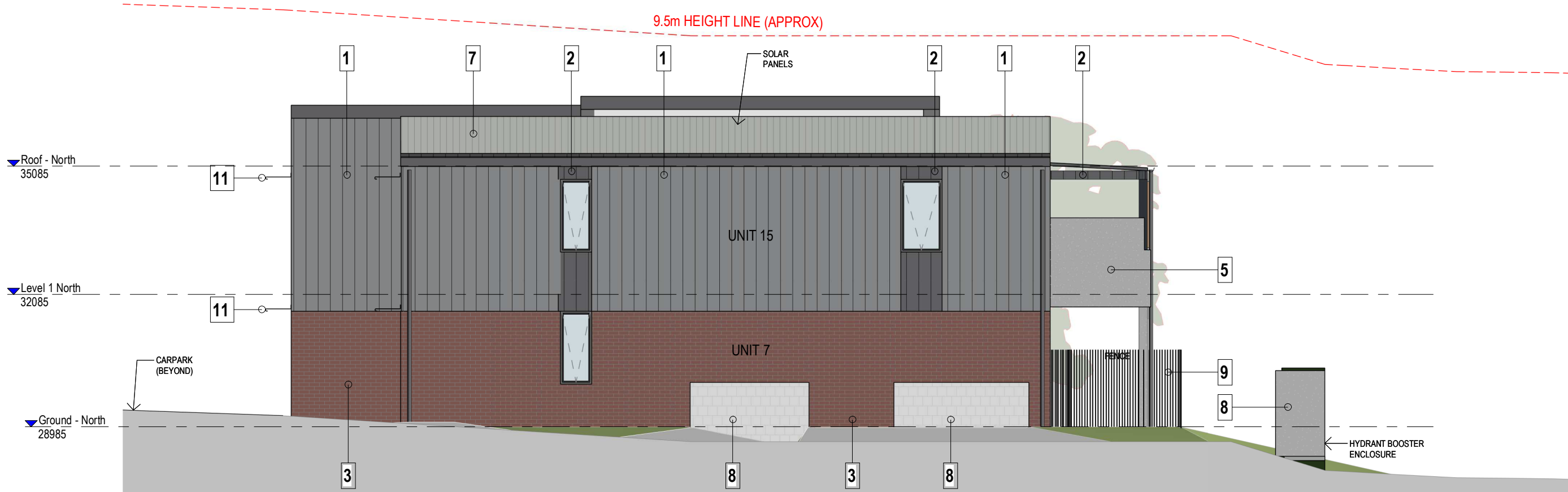
Project No.
3418

Sheet No.
DA-009

Revision
6



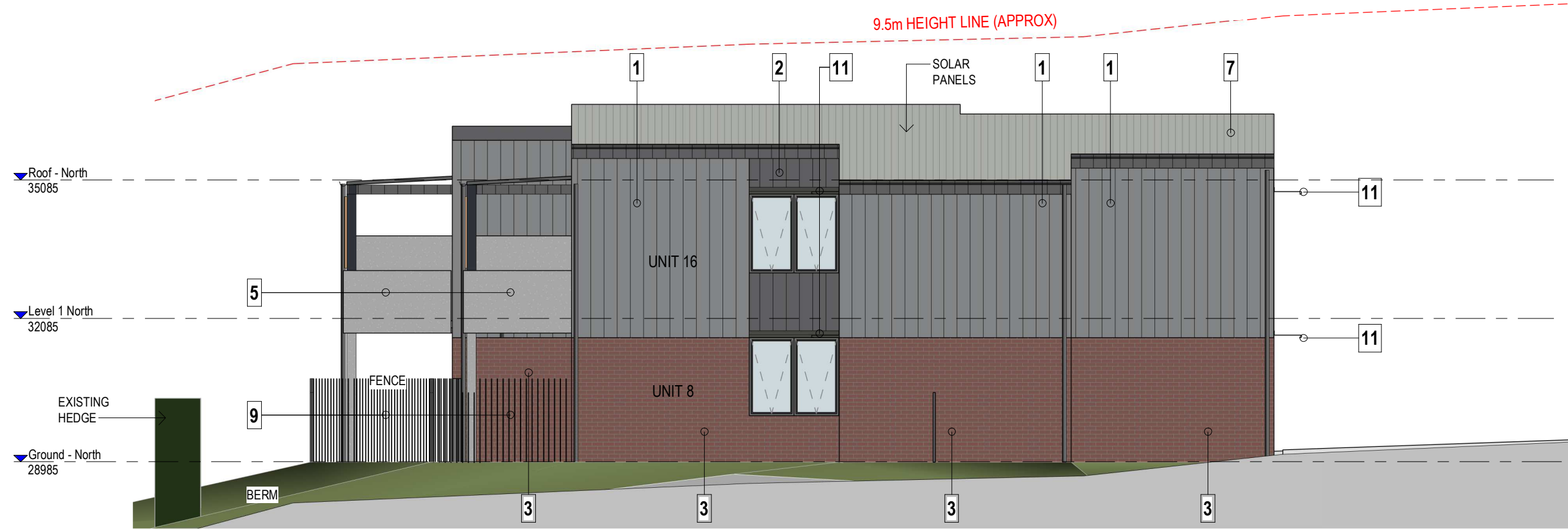
1 BUILDING 1 - EAST ELEVATION
DA-006 / 1 : 100



2 BUILDING 1 - SOUTH ELEVATION
DA-006 / 1 : 100



3 BUILDING 1 - WEST ELEVATION
DA-006 / 1 : 100



4 BUILDING 1 - NORTH ELEVATION
DA-006 / 1 : 100

FINISHES LEGEND

1. "Bluegum" Wall Cladding
2. "Basalt" Wall Cladding
3. Medium Face brick
4. Dark Face brick
5. Concrete Balcony wall
6. "Monument" downpipes
7. "Southerly" roofing
8. Breeze block wall
9. Pallisade fencing
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Part 5 Submission

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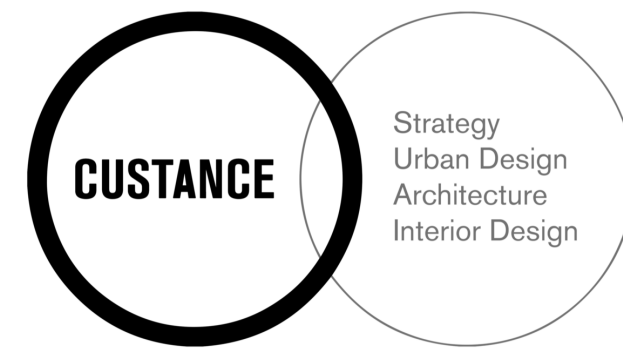
3. EXISTING STRUCTURES AND SERVICES
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Consultants

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Landscape Architect: Site Image
Access Consultant: Ai Access
Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:

Client



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Australia
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Project
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RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in
DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

EXTERNAL ELEVATIONS

SCALE @ A1

1:100

0

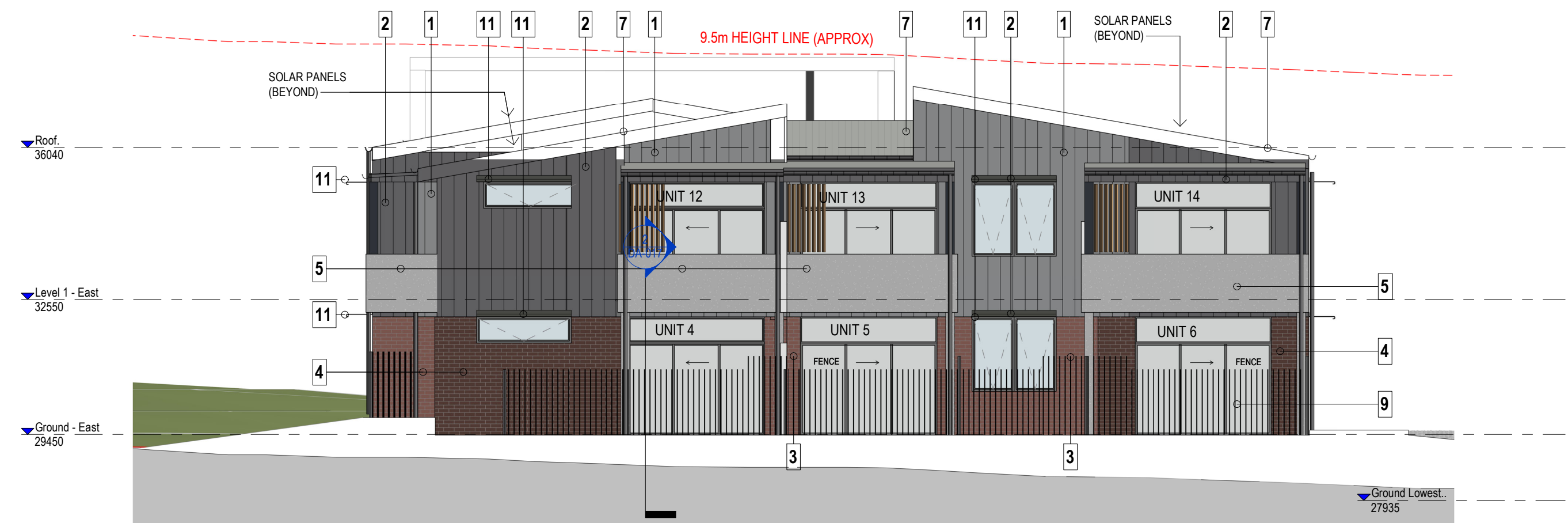
2.5

5M

Drawn	Checked	Scale
KL	RW	As indicated @ A1

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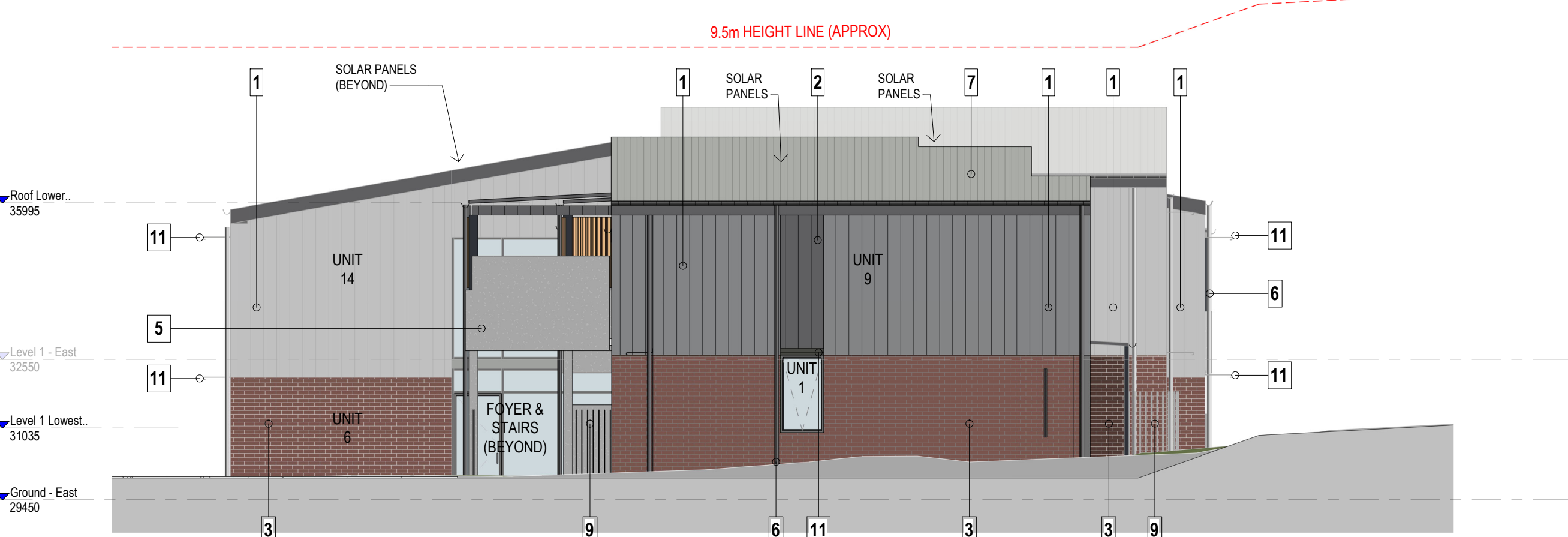
Project No.	Sheet No.	Revision
3418	DA-010	6



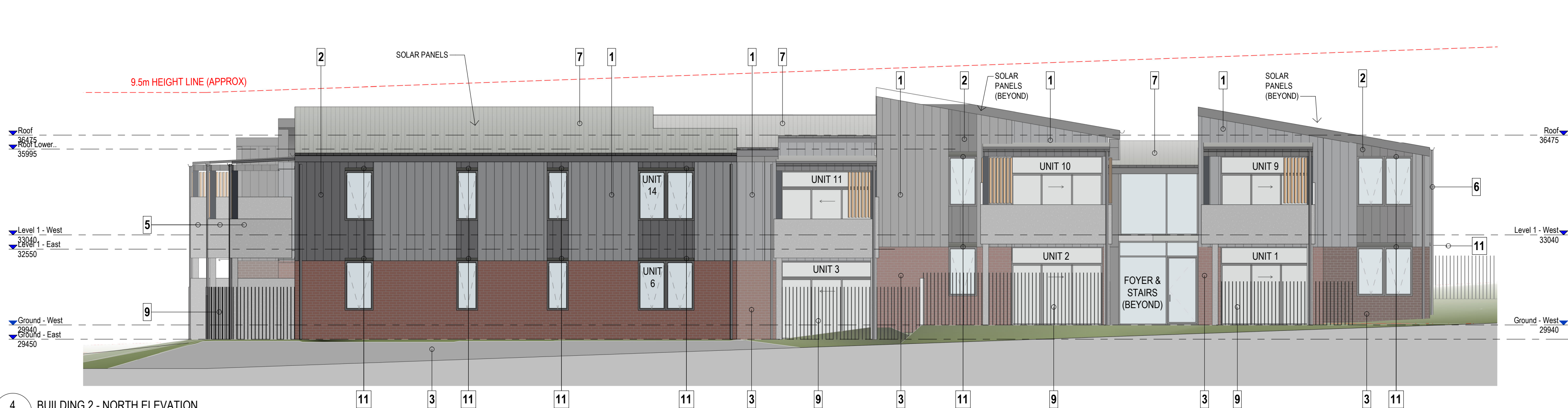
1 BUILDING 2 - EAST ELEVATION
DA-006 1 : 100



2 BUILDING 2 - SOUTH ELEVATION
DA-006 A 1 : 100



3 BUILDING 2 - WEST ELEVATION
DA-006 1 : 100



4 BUILDING 2 - NORTH ELEVATION
DA-006 1 : 100

FINISHES LEGEND

1. "Bluegum" Wall Cladding
2. "Basalt" Wall Cladding
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Part 5 Submission

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Sheet Title

EXTERNAL ELEVATIONS

SCALE @ A1

1:100

0 2.5 5M

Drawn	Checked	Scale
KL	RW	As indicated @ A1

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Project No.
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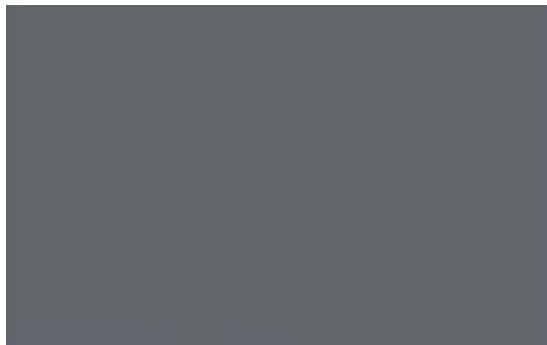
Sheet No.
DA-011

Revision
7

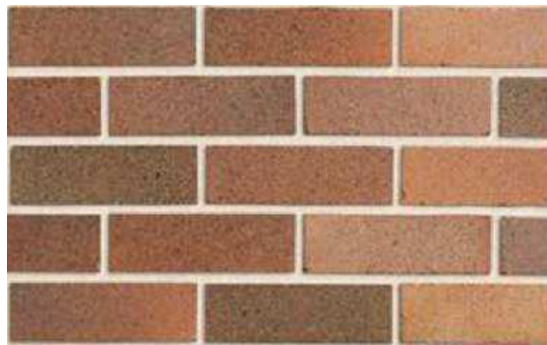
MATERIALS & COLOURS



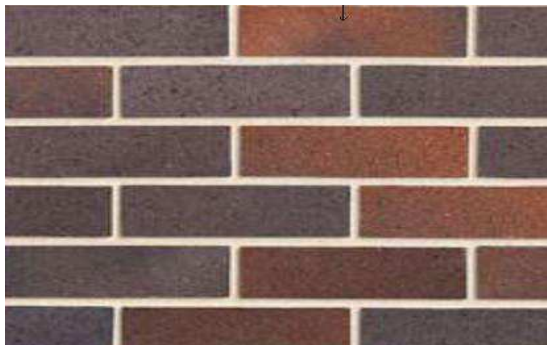
1. MEDIUM COLOURED WALL CLADDING



2. DARK COLOURED WALL CLADDING



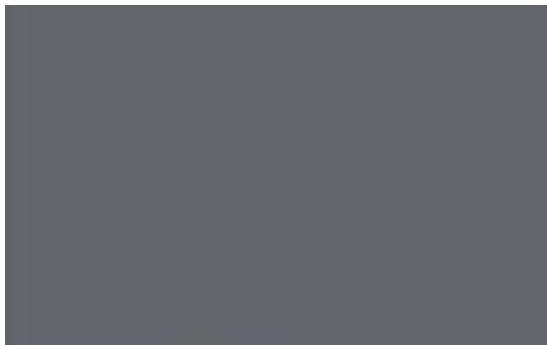
3. MEDIUM FACE BRICK



4. DARK FACE BRICK



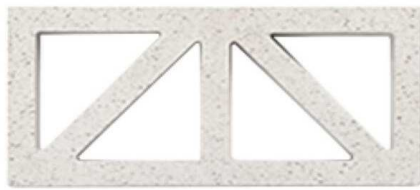
5. CONCRETE BALCONY



6. DARK COLOURED DOWNPIPES, FACIAS, FLASHINGS, BALCONY POSTS & AWNINGS



7. LIGHT COLOUR ROOFING



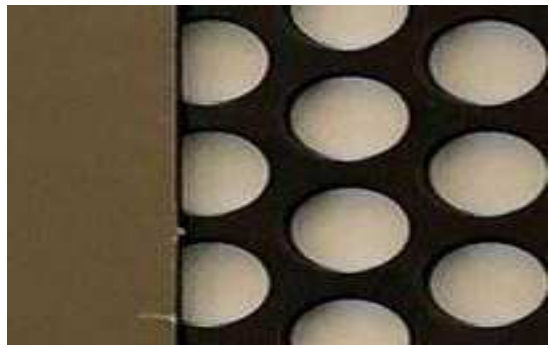
8. BREEZE BLOCK



9. PALLISADE FENCE



10. DARK GUTTERS



11. BALUSTRADE SCREEN TO RAMPED PATH.



12. LIGHT BALCONY SCREENING

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 05/01/24	18/01/2024

Part 5 Submission

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Project
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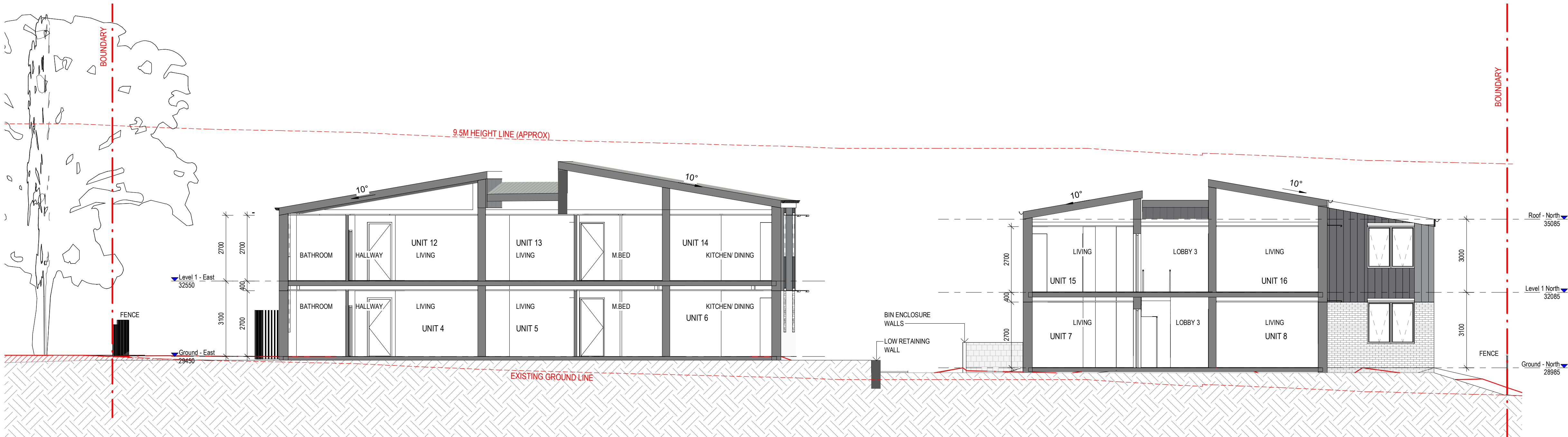
Sheet Title

EXTERNAL FINISHES

Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Nominated Architect: Craig Sheldene 8259 (NSW), 5612 (QLD)

Project No.	Sheet No.	Revision
3418	DA-012	5



1 SECTION 1 - SECTION BERNADOTTE
DA-006/ 1 : 100



2 SECTION 2 - SECTION MUNMURRA
DA-006.A 1 : 100

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
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Project
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DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

BUILDING SECTIONS

SCALE @ A1

1:100

0

2.5

5M

Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.

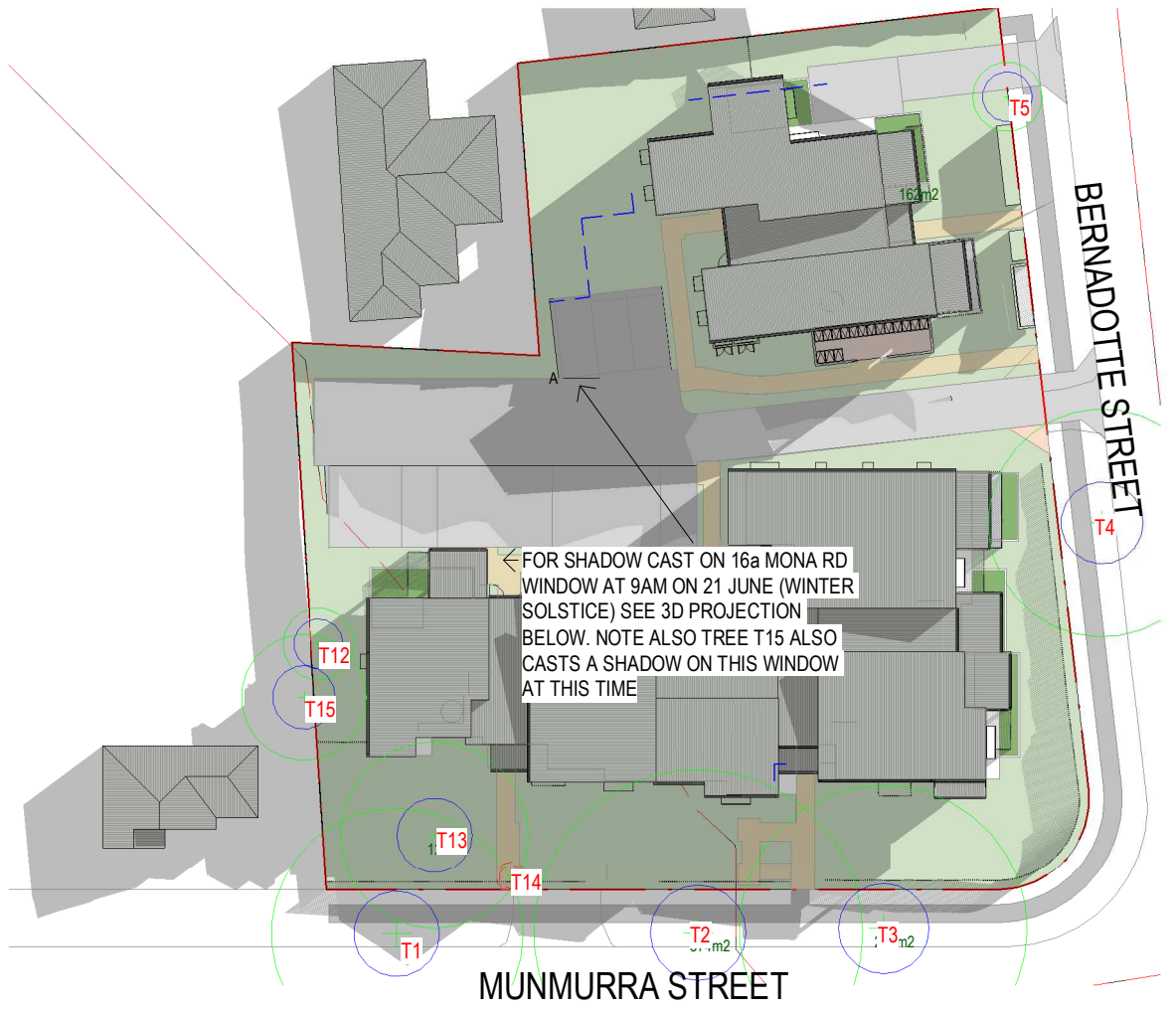
3418

Sheet No.

DA-013

Revision

5



SHADOW DIAGRAM - 9am. 21st June
1 : 500



SHADOW DIAGRAM - 10am. 21st June
1 : 500



SHADOW DIAGRAM - 11am. 21st June
1 : 500



SHADOW DIAGRAM - 12 noon 21st June
1 : 250



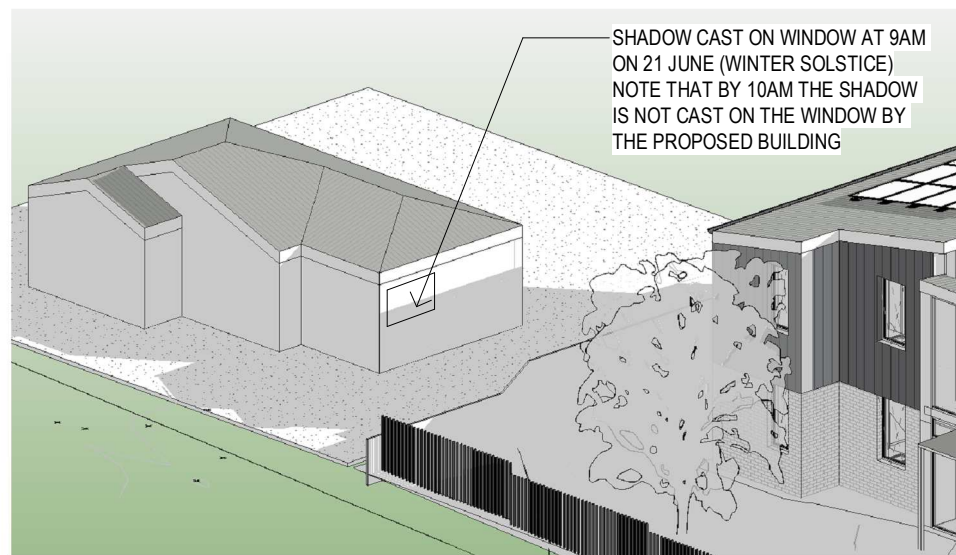
SHADOW DIAGRAM - 1pm. 21st June
1 : 500



SHADOW DIAGRAM - 2pm. 21st June
1 : 500



SHADOW DIAGRAM - 3pm 21st June
1 : 500



SHADOW ON WINDOW
At 16a Mona Road at 9am. 21st June

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
2	PART 5 SUBMISSION	04/10/2023
3	PART 5 ISSUE	17/11/2023
4	DA PART 5 ISSUE	21/12/2023
5	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 18/01/24	18/01/2024

Part 5 Submission

NOTES : DEVELOPMENT APPLICATION

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**THIS DRAWING IS TO BE
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Consultants

Arboret: Arterra
Landscape Architect: Site Image
Access Consultant: Ai Access
Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:

Client



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Project
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in
DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

SHADOW DIAGRAMS

SCALE @ A1

0

Drawn	Checked	Scale
JP	RW	As indicated @ A1

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Project No.	Sheet No.	Revision
3418	DA-014	5



1 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 9AM



4 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 12 NOON

SOLAR ACCESS TABLE				
UNIT No.	LOUNGE	SOLAR ACCESS	POS	SOLAR ACCESS
UNIT 1	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 2	10am - 2pm	4 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 3	2pm	Non-Compliant	11am - 2pm	3 hours, Complies with SEPP
UNIT 4	8am	Non-Compliant	8am - 11am	2 hours, Complies with SEPP
UNIT 5	8am - 11am	2 hours, Complies with SEPP	8am - 12 noon	3 hours, Complies with SEPP
UNIT 6	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 7	8am - 11am	2 hours, Complies with SEPP	8am - 1pm	4 hours, Complies with SEPP
UNIT 8	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 9	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 10	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 11	10am - 2pm	4 hours, Complies with SEPP	11am - 2pm	3 hours, Complies with SEPP
UNIT 12	8am	Non-Compliant	8am - 11am	2 hours, Complies with SEPP
UNIT 13	8am - 11am	2 hours, Complies with SEPP	8am - 12 noon	3 hours, Complies with SEPP
UNIT 14	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP
UNIT 15	8am - 11am	2 hours, Complies with SEPP	8am - 1pm	4 hours, Complies with SEPP
UNIT 16	8am - 2pm	5 hours, Complies with SEPP	8am - 2pm	5 hours, Complies with SEPP

13 of 16 units achieve SEPP requirements for Solar Access, or 81.25% of total development. SEPP requires min 70%
Note: SEPP Requires: Min 2 hours solar access between 9am and 3pm mid-winter.



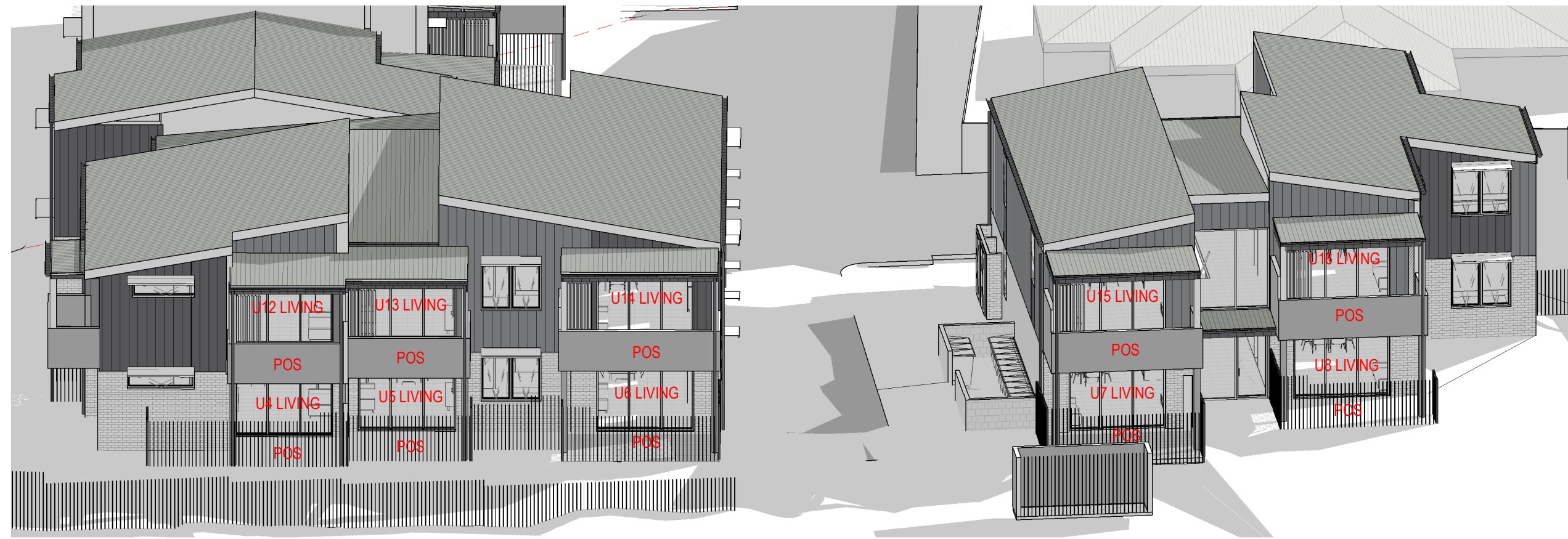
2 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 10AM



5 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 1PM



3 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 11AM



6 SOLAR ACCESS - BERNADOTTE ST - 21 JUNE AT 2PM

Revision	Description	Date
1	DRAFT PART 5 SUBMISSION	18/09/2023
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Part 5 Submission

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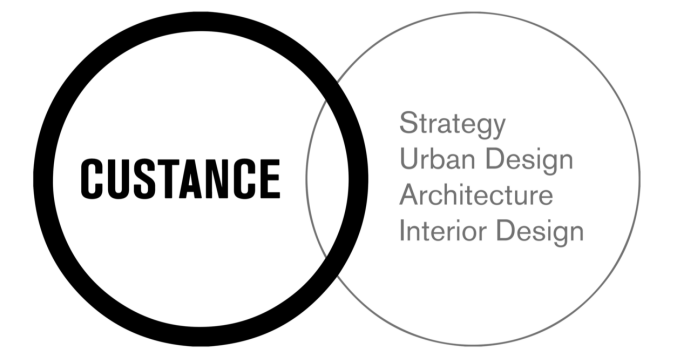
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LOTS 57,58,59 & 60 in
SENIOR HOUSING DEVELOPMENT

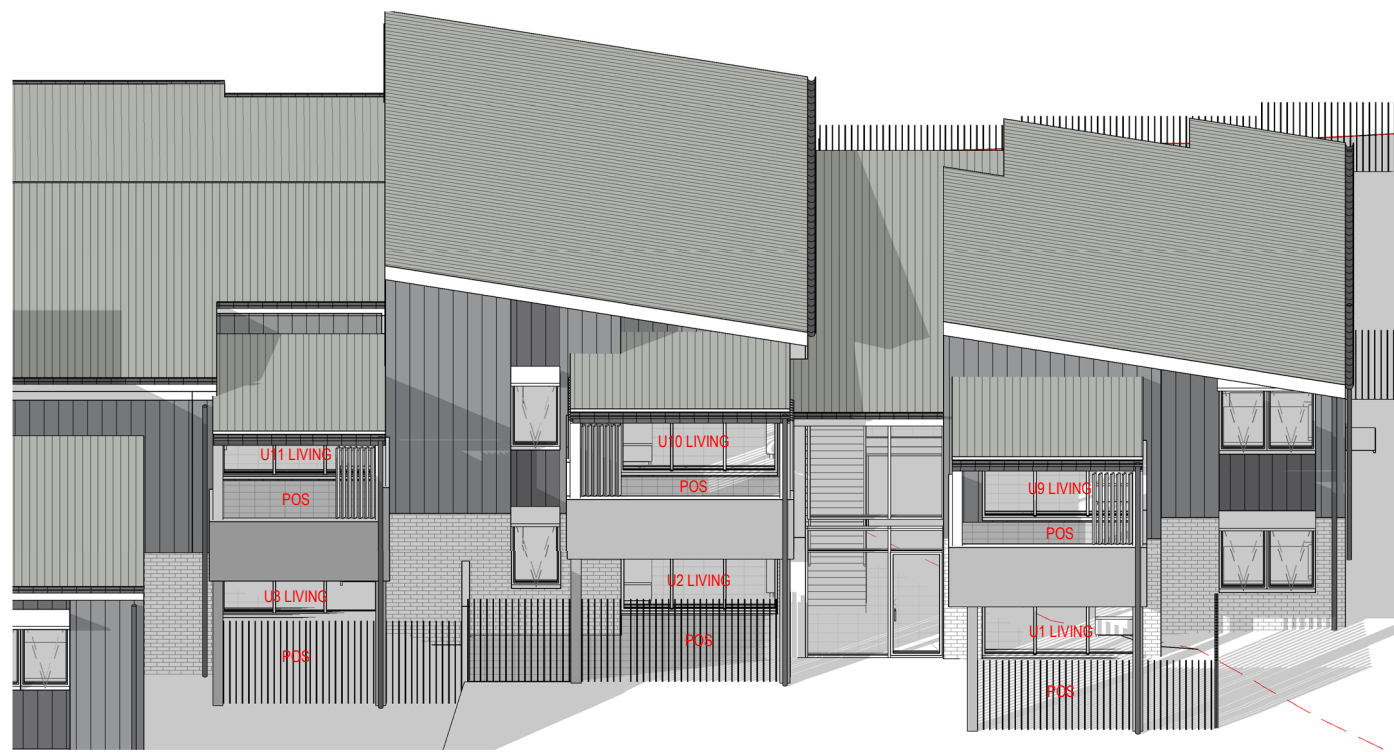
Sheet Title

SOLAR ACCESS STUDIES - BERNADOTTE ST

Drawn	Checked	Scale
KL	RW	As indicated @ A1

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Norman Architects: Craig Shelton 8258 (NSW), 5612 (QLD)

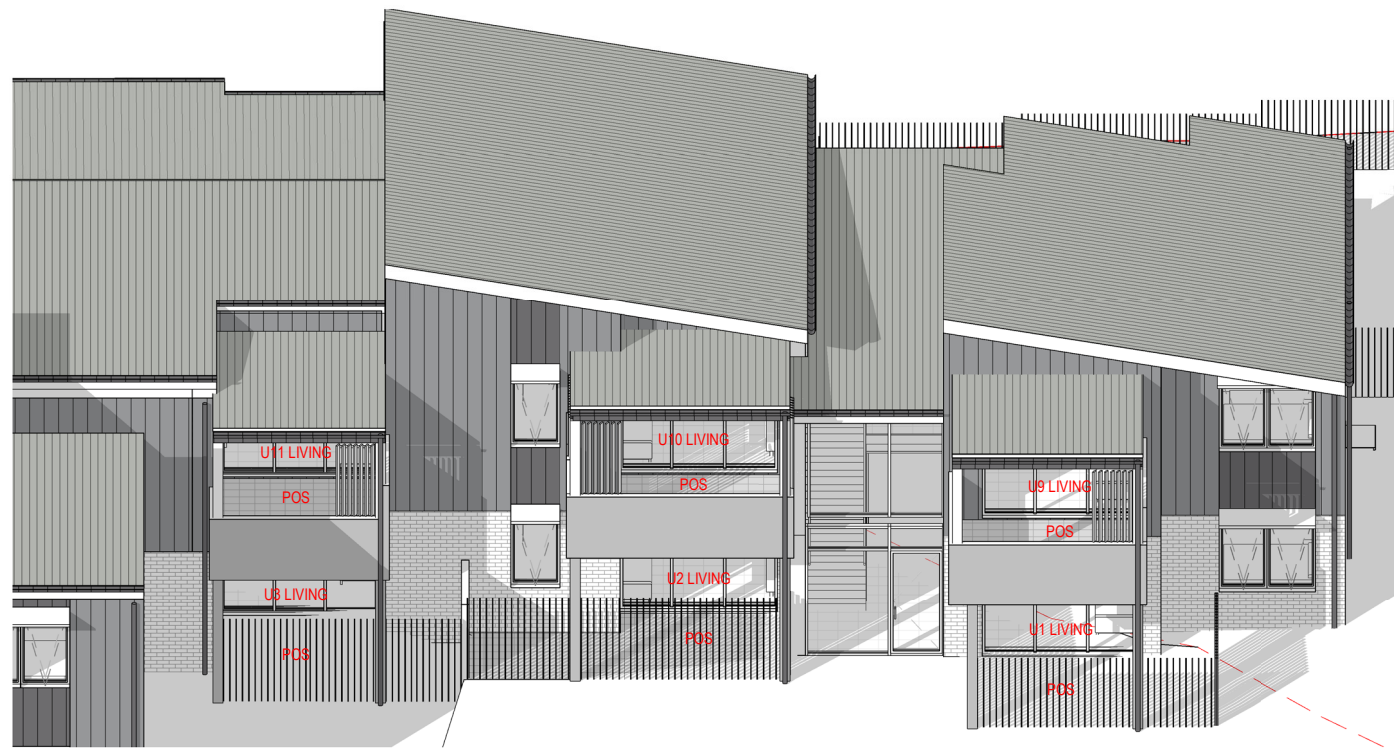
Project No.	Sheet No.	Revision
3418	DA-015	5



1 SOLAR ACCESS - CARPARK - 21 JUNE AT 9AM



4 SOLAR ACCESS - CARPARK - 21 JUNE AT 12 NOON



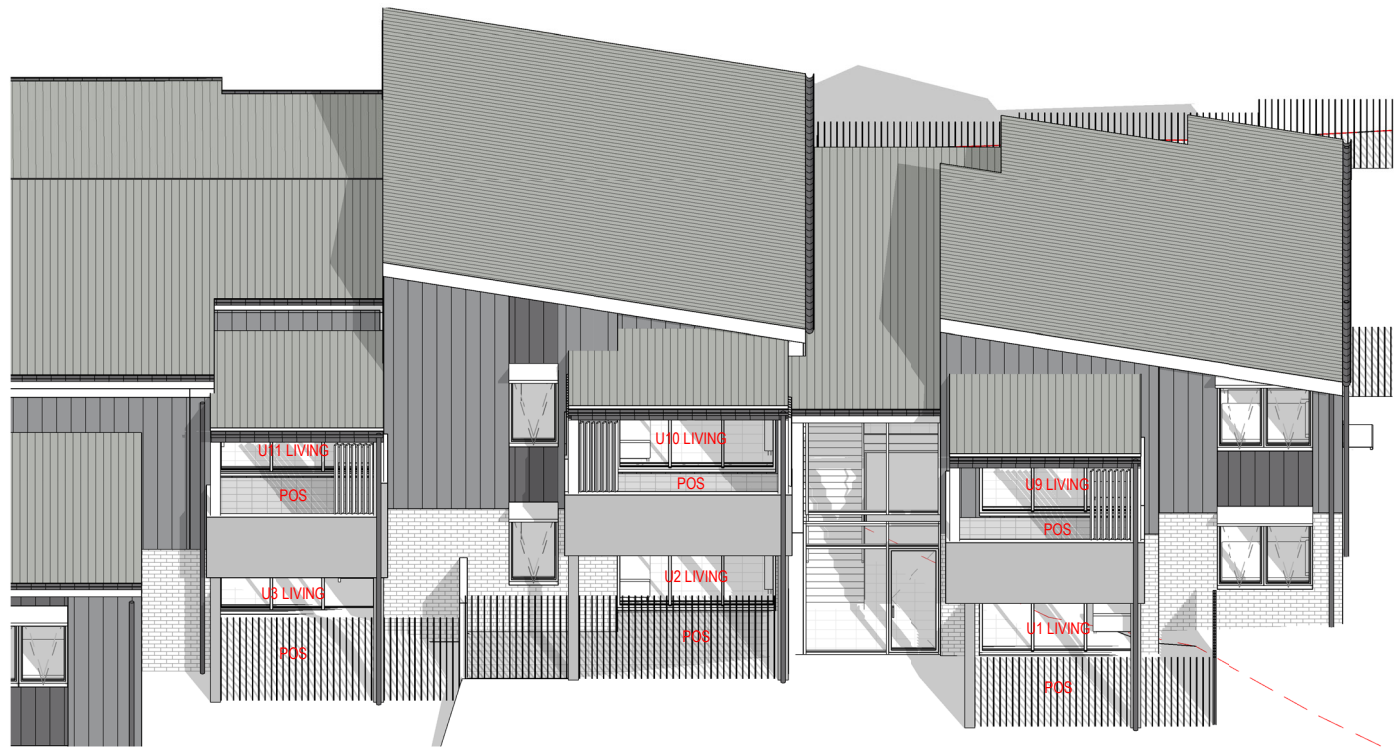
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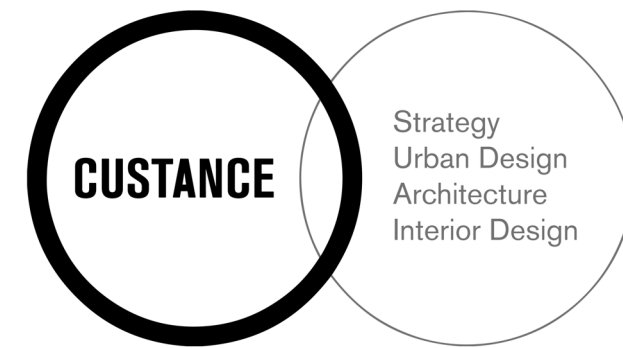
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Project

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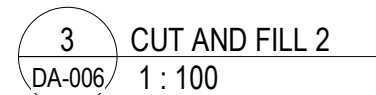
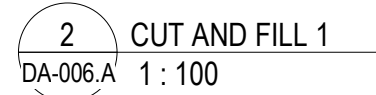
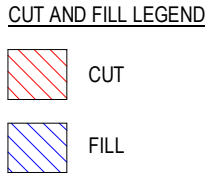
Sheet Title

**SOLAR ACCESS STUDIES - INTERNAL
CARPARK**

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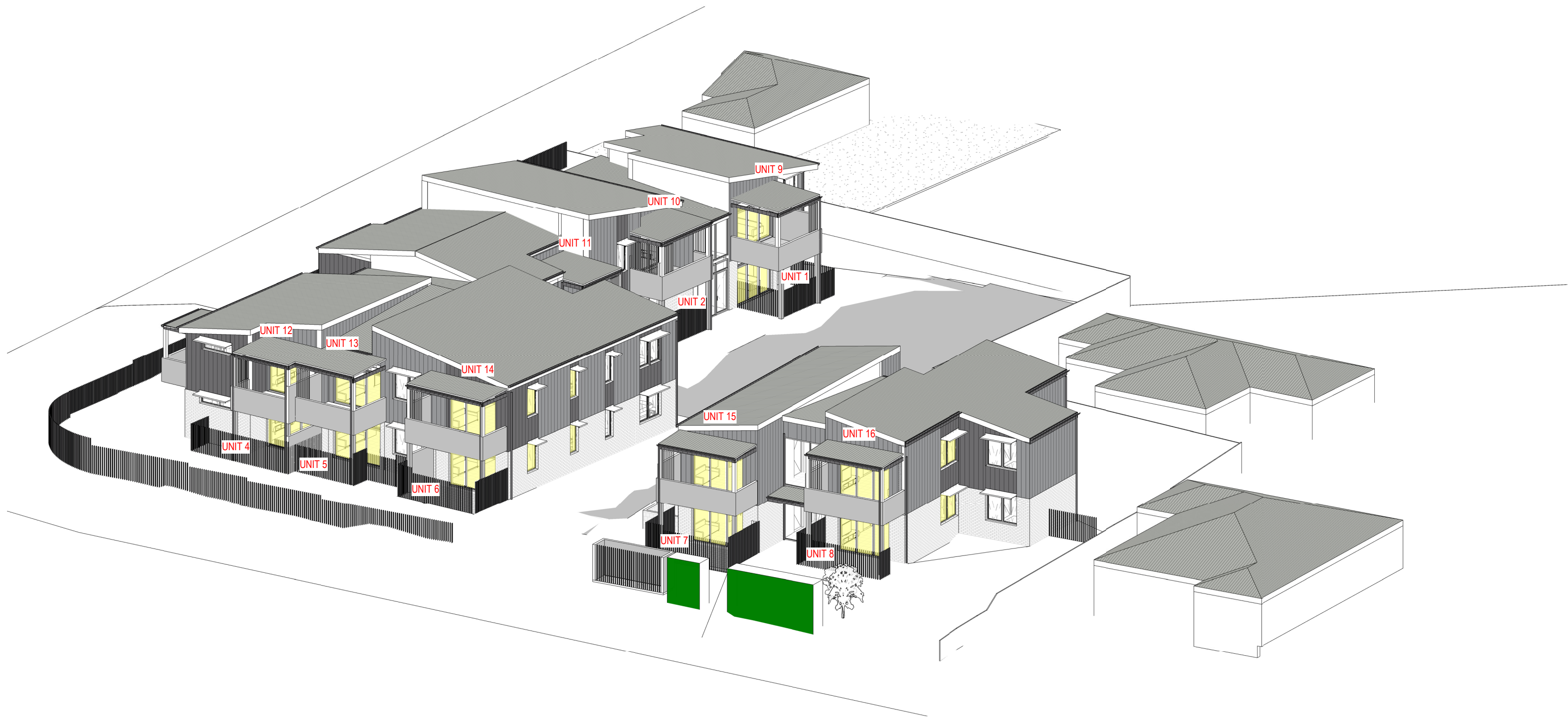
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Project No. 3418, Sheet No. DA-016, Revision 6

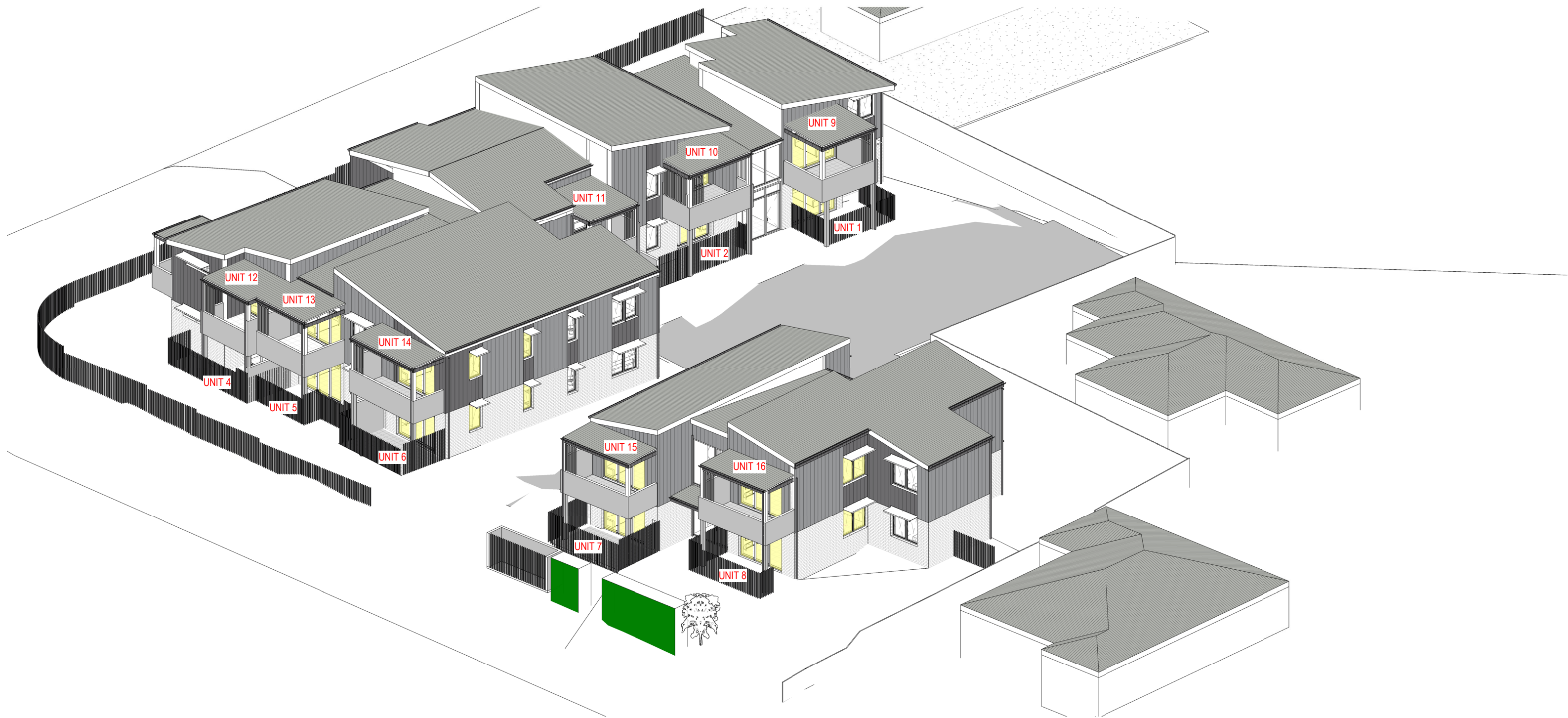


Project No.	Sheet No.	Revision
3418	DA-017	3

17/02/2024 11:50:11 AM



View From The Sun - JUNE 21 9AM



View From The Sun - JUNE 21 10AM

Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24	18/01/2024
4	DA PART 5 REVISED FOLLOWING CLIENTS EMAIL ON THE 15/02/24	17/05/2024

Part 5 Submission

NOTES : DEVELOPMENT APPLICATION

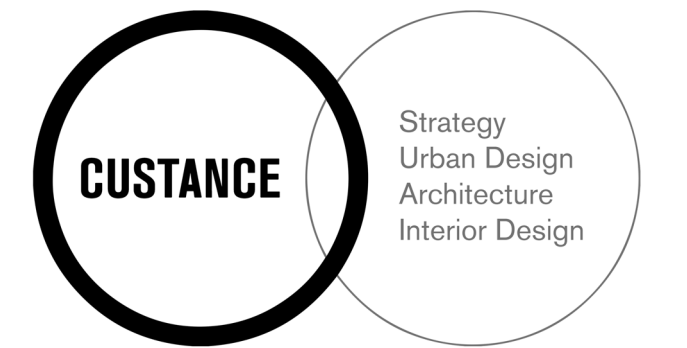
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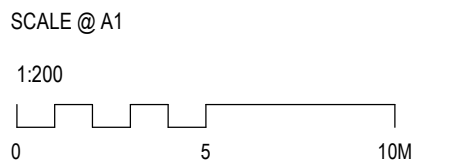


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Sheet Title

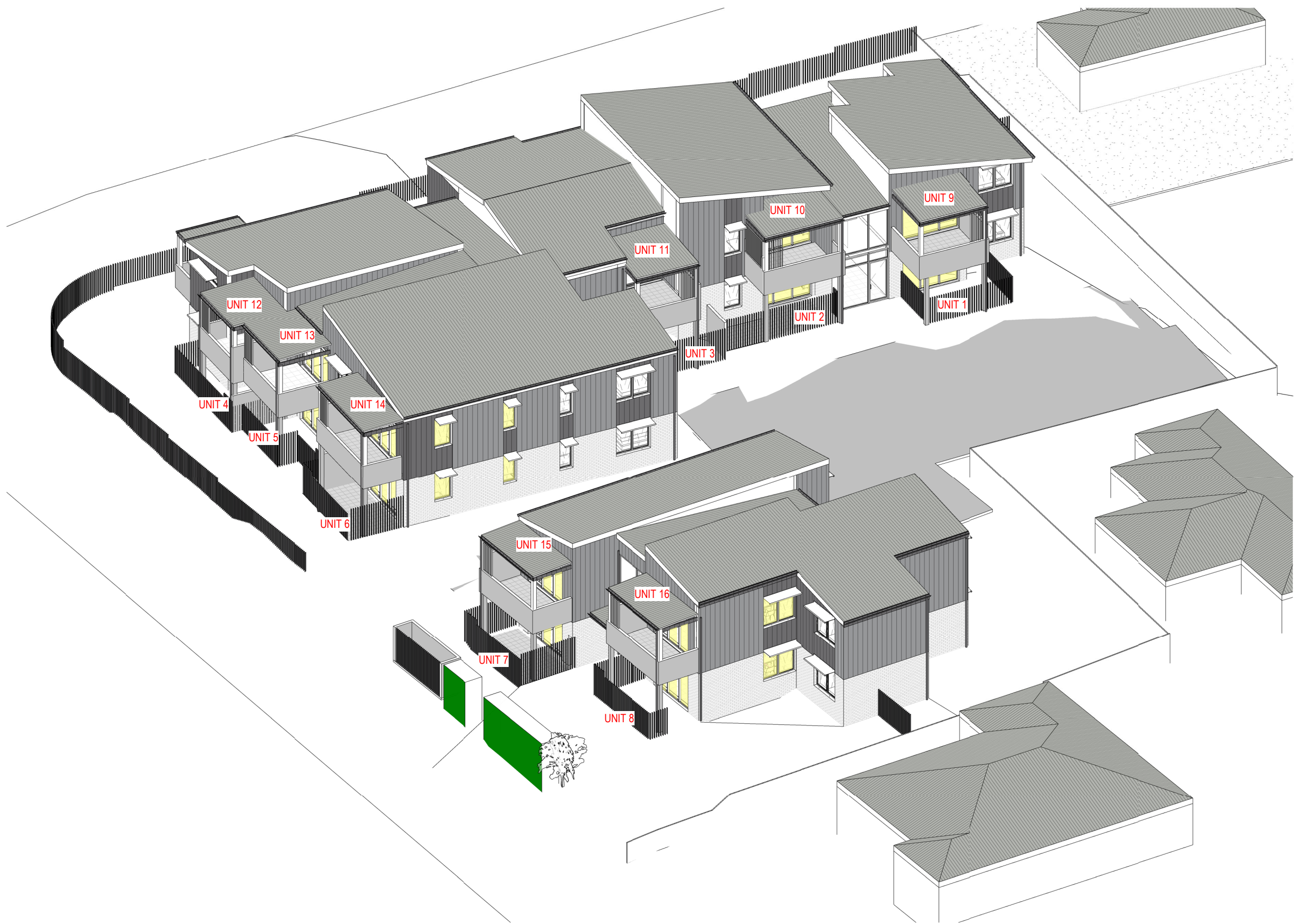
VIEWS FROM THE SUN - SHEET 1



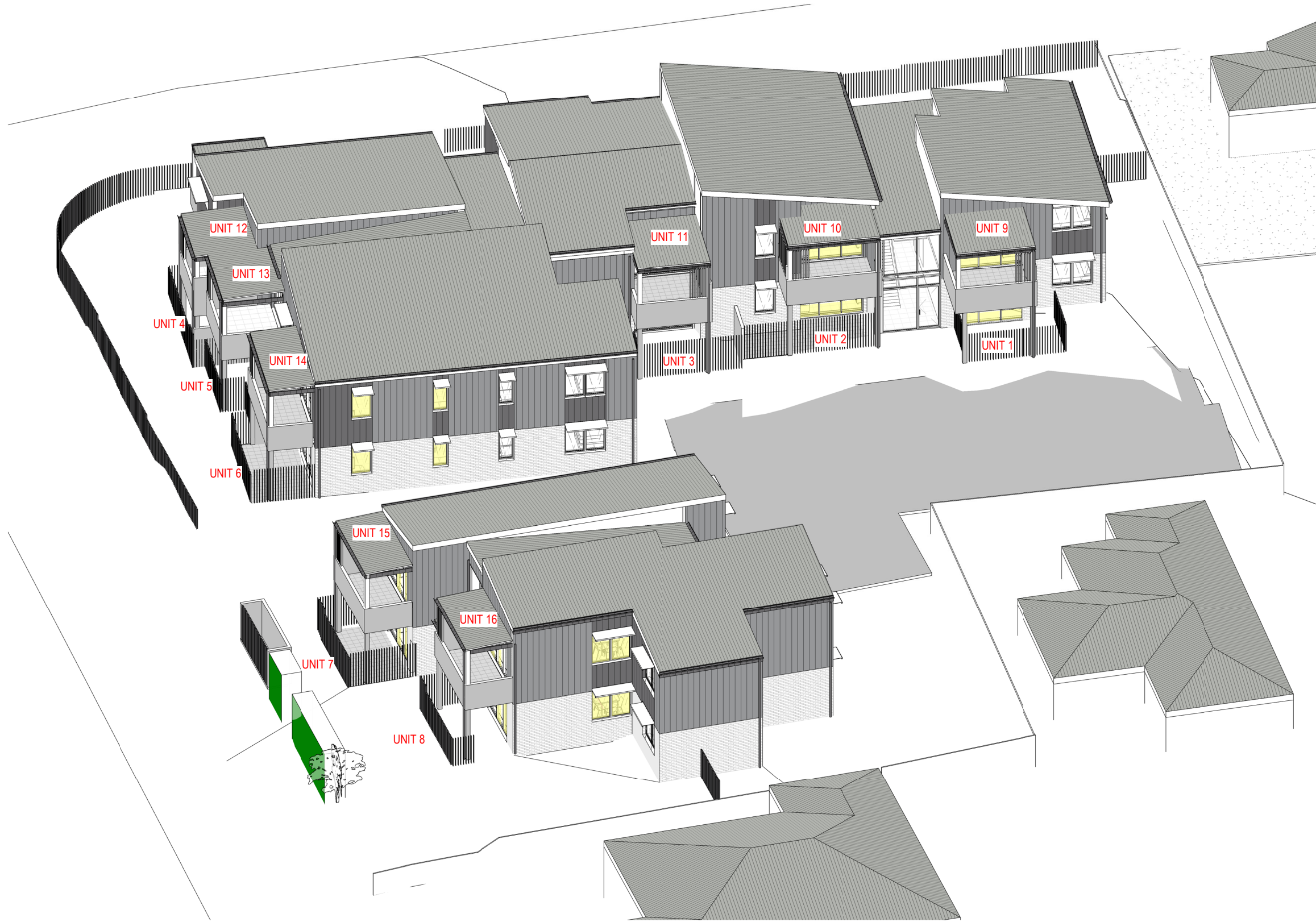
Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

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Project No.	Sheet No.	Revision
3418	DA-018	4



View From The Sun - JUNE 21 11AM



View From The Sun - JUNE 21 12PM

Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
3	DA PART 5 REVISED FOLLOWING PLANNERS COMMENTS ON THE 09/01/24	18/01/2024
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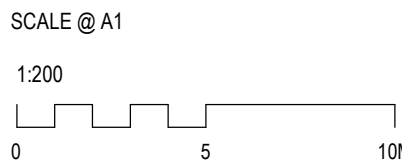


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Sheet Title

VIEWS FROM THE SUN - SHEET 2



Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

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Project No.	Sheet No.	Revision
3418	DA-019	4

17/02/2024 11:51:14 AM



View From The Sun - JUNE 21 1PM



View From The Sun - JUNE 21 2PM

Revision	Description	Date
1	PART 5 ISSUE	17/11/2023
2	DA PART 5 ISSUE	21/12/2023
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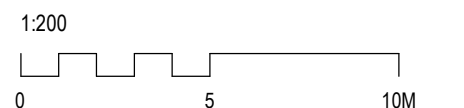
Project

10-14 MUNMURRA RD. & 5 BERNADOTTE ST,
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DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

VIEWS FROM THE SUN - SHEET 3

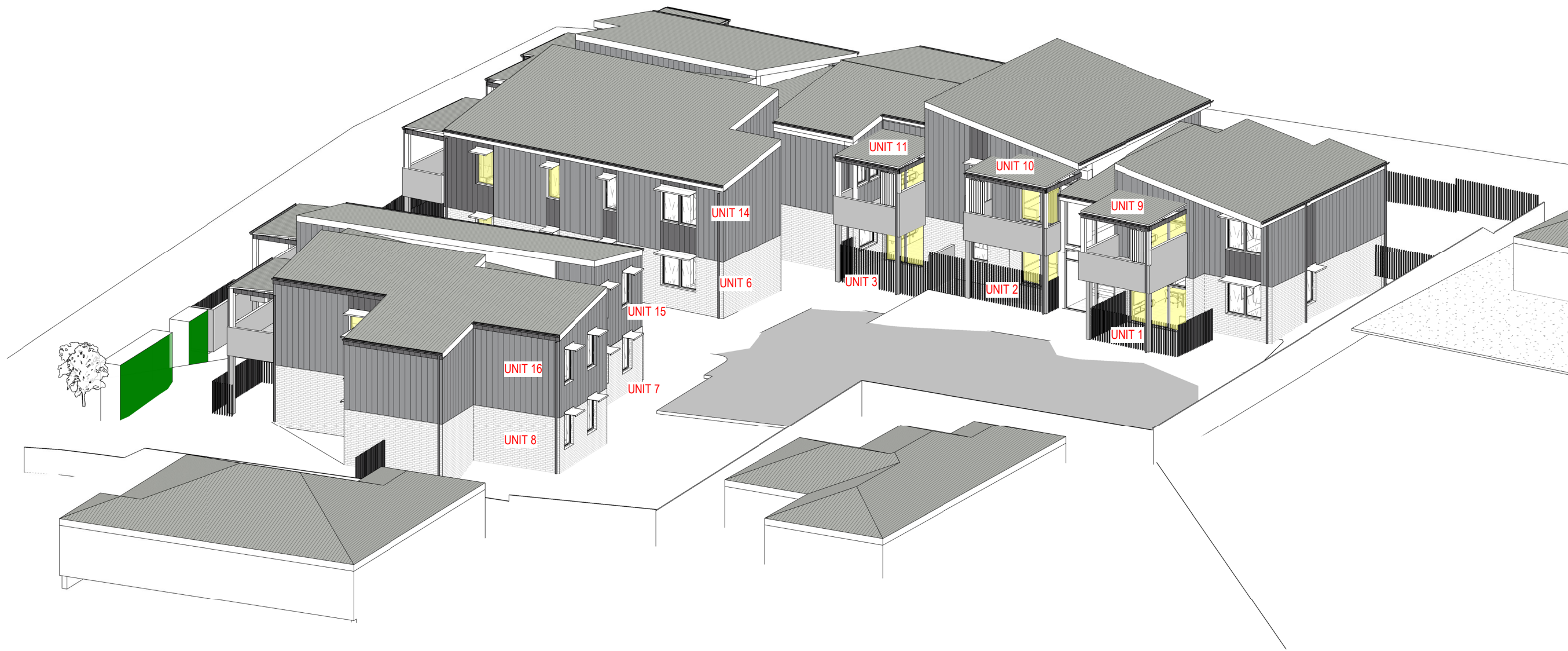
SCALE @ A1



Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

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Project No.	Sheet No.	Revision
3418	DA-020	4



View From The Sun - JUNE 21 3PM

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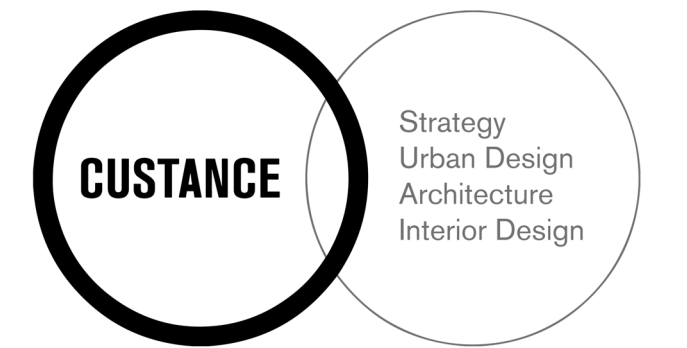
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 - The dimensions shown are general only and are subject to further design resolution.
 - Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
 - The size and position of privacy screens, louvres is indicative and shown in open and closed positions.
 - Please refer to Landscape drawings for Landscape component (shown indicatively only in this set)
 - Location & sizes of plant, equipment, service areas and service risers on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.
- GRAPHIC PRESENTATION
 - Colours presented on drawings are generic only and indicative of the architectural design intent.
- EXISTING STRUCTURES AND SERVICES
 - Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

**THIS DRAWING IS TO BE
PRINTED IN COLOUR**

Consultants

Arborist: Arterra
Landscape Architect: Site Image
Access Consultant: Ai Access
Mechanical: Knox
Structural: JN
Civil / Stormwater: JN
Hydraulic: JN
Electrical: JN
BASIX / NatHERS Certification:
Traffic Consultant:

Client



SYDNEY
Suite 604 Level 6, 46 Kippax St
Surry Hills NSW 2010
Australia
PH (02) 9051 0177
www.custance.com.au

Project
10-14 MUNMURRA RD. & 5 BERNADOTTE ST,
RIVERWOOD, NSW 2210 LOTS 57,58,59 & 60 in
DP 35818 SENIOR HOUSING DEVELOPMENT

Sheet Title

VIEWS FROM THE SUN - SHEET 4

SCALE @ A1

1:200

0 5 10M

Drawn	Checked	Scale
KL	RW	1 : 200 @ A1

It is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or Australian Standards, regulations or by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Australia Pty Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issues. ©Copyright of this drawing is vested with Custance Associates Australia Pty Ltd
Nominated Architect: Craig Shelton 8259 (NSW), 5612 (QLD)

Project No.	Sheet No.	Revision
3418	DA-021	4